



# Newnan City Council Meeting

## July 16, 2019 – 6:30 pm

### AGENDA

**CALL TO ORDER** – Mayor Keith Brady

**INVOCATION**

**READING OF MINUTES**

- I Minutes from Regular Meeting on June 18, 2019 ..... Tab A

**REPORTS OF BOARDS AND COMMISSION**

- I 1 Appointment – Newnan Youth Activities Commission – 3 Year Term
- II 1 Appointment – Urban Redevelopment Agency – 3 Year Term
- III 4 Appointments – Cultural Arts Commission – 3 Year Terms
- IV 1 Appointment – Keep Newnan Beautiful – 3 Year Term
- V 1 Appointment – Retirement Commission – 3 Year Term – City Manager

**REPORTS ON OPERATIONS BY CITY MANAGER**

**REPORTS AND COMMUNICATIONS FROM MAYOR**

**NEW BUSINESS**

- I **Public Hearing** – Application for Alcohol Beverage License Adding Distilled Spirits – Retail on Premise Pouring Sales of Distilled Spirits, Malt Beverages and Wine – Two East Court Square – 2 E. Court Square – Reason: Adding distilled spirits ..... Tab B
- II **Public Hearing** – For the 2019 update to the Capital Improvements Element which includes the 2019 update to the Short-Term Work Program ..... Tab C
- III Consideration of a Grounds Lease Agreement between the City of Newnan and the Community Action for Improvement (CAFI) ..... Tab D
- IV Consideration of an Agreement with international Mountain Biking Association and Southern Off-Road Bicycle Association (MBA-SORBA Atlanta) to Manage Construction of a 2 Mile Mountain Bike Trail ..... Tab E
- V Consideration of purchase of a Sutphen Heavy Duty Custom Pumper Truck and Loose Equipment using the HGAC (Houston-Galveston Area Council) Co-Op Method ..... Tab F

- VI Consider Change Order for additional work under existing contract for repairs and paving of various streets under the LMIG 2019 program ..... Tab G
  
- VII Mainstreet proposed street closure request for the Tucked Away Music Festival Saturday October 26, 2019 from 11am – 8 pm ..... Tab H

**UNFINISHED BUSINESS**

- I **Public Hearing** – The Residential Group request to rezone 6.667+ acres located on East Broad Street, known as the Caldwell Tanks property from CBD (Central Business District) to MXD (Mixed Use Development District) ..... Tab I
  - Ordinance
  
- II **Reschedule Public Hearing** – 6 Glenn Street, 8 Glenn Street and 100 Sprayberry Road – Resolution to repair or demolish ..... Tab J
  
- III 15 Elm Circle – Continue resolution to repair or demolish ..... Tab K
  
- IV 17 Ray Street – Owner to request an extension to complete repairs..... Tab L
  
- V 18 Berry Avenue – Owner to update Council on his intention to repair or demolish..... Tab M
  
- VI Status Reports – 10 Burch St, 280 W. Washington St, 121 Pinson St, 180 W. Washington St, 11 Melson, 33 Hardaway St..... Tab N

**VISITORS, PETITIONS, COMMUNICATIONS & COMPLAINTS**

- I Max Kitchens – Issues regarding June filming on Greenville Street
  
- II Cindy Hughes, Coweta Pregnancy Center - 30 minute Fundraising Walk on Saturday September 14, 2019 beginning at 8 am with activities on private property..... Tab O
  
- III Derrick Teagle – Empowered 4 Life, would like to host another Wrestling Fundraiser at the Wesley Street Gym - Saturday 8/17/19 from 7 to 10:30 pm ..... Tab P
  
- IV Jarmaine Elder, Sr., Prevailing Grace Ministries request to use the Howard Warner Gym Sundays from 9:00 am – 1:00 pm / July 21 - December 29, 2019 ..... Tab Q
  
- V Motown by Fergies/Fergies Design is requesting to host an outdoor event on the grounds of the Municipal Building from 2 to 10 pm including a DJ, music, food trucks and vendors, in conjunction with a scheduled concert and entertainment in the Wadsworth Auditorium from 5 – 10 pm on Saturday September 7, 2019..... Tab R

**EXECUTIVE SESSION – LEGAL, PERSONNEL AND REAL ESTATE**

**ADJOURNMENT**

The regular meeting of the City Council of the City of Newnan, Georgia was held on Tuesday, June 18, 2019 at 6:30 p.m. in the Richard A. Bolin Council Chambers of City Hall with Mayor Keith Brady presiding.

**CALL TO ORDER**

Mayor Brady called the meeting to order and delivered the invocation.

**PRESENT**

Mayor Keith Brady: Council members present: Ray DuBose, Rhodes Shell; Cynthia E. Jenkins; Paul Guillaume; Dustin Koritko and George Alexander. Also present: City Manager, Cleatus Phillips; City Clerk, Della Hill; Planning Director, Tracy Dunnavant; Public Works Director, Michael Klahr; Assistant City Manager, Hasco Craver; City Attorney, Brad Sears and Deputy Chief of Police Mark Cooper.

**MINUTES – REGULAR COUNCIL MEETING – MAY 28, 2019**

Motion by Councilman DuBose, seconded by Councilman Alexander to dispense with the reading of the minutes of the Regular Council meeting for May 28, 2019 and adopt them as presented.

**MOTION CARRIED. (7 – 0)**

**MINUTES – SPECIAL CALLED MEETING – JUNE 12, 2019**

Motion by Councilman Alexander, seconded by Councilman Koritko to dispense with the reading of the minutes of the Special Called meeting on June 12, 2019 and adopt them as presented.

**MOTION CARRIED. (7 – 0)**

**APPOINTMENT – NEWNAN YOUTH ACTIVITIES COMMISSION**

Mayor Brady asked the City Manager to place Mayor Pro Tem Jenkins's appointment to the Newnan Youth Activities Commission on the agenda for the next meeting.

**APPOINTMENT – URBAN REDEVELOPMENT AGENCY**

Mayor Brady asked the City Manager to place Mayor Pro Tem Jenkins's appointment to the Urban Redevelopment Agency on the agenda for the next meeting.

**APPOINTMENTS – CONVENTION CENTER AUTHORITY**

Motion by Mayor Brady, seconded by Councilman Alexander to re-appoint Katie McBride to the Convention Center Authority for another three year term.

**MOTION CARRIED. (7 – 0)**

Motion by Councilman Shell, seconded by Councilman Alexander to re-appoint Michael Colpoys to the Convention Center Authority for another three year term.

**MOTION CARRIED. (7 – 0)**

**APPOINTMENTS – CULTURAL ARTS COMMISSION**

Motion by Councilman Alexander, seconded by Councilman Koritko to re-appoint Phyllis Graham to the Cultural Arts Commission for another three year term.

**MOTION CARRIED. (7 – 0)**

Mayor Brady asked the City Manager to place Councilman DuBose, Councilman Shell, Mayor Pro Tem Jenkins and his appointments on the agenda for the next meeting for the Cultural Arts Commission.

**APPOINTMENTS – KEEP NEWNAN BEAUTIFUL**

Motion by Councilman Alexander, seconded by Councilman Koritko to re-appoint Shalonda Vassar-West to the Keep Newnan Beautiful Commission for another three year term.

**MOTION CARRIED. (7 – 0)**

Mayor Brady asked the City Manager to place Councilman DuBose appointment to the Keep Newnan Beautiful Commission on the agenda for the next meeting.

**APPOINTMENT – JOINT TRANSPORTATION COORDINATING COMMITTEE - 2 YEAR TERM**

Motion by Councilman DuBose, seconded by Mayor Pro Tem Jenkins to re-appoint Rhodes Shell to the Joint Transportation Coordinating Committee for another two year term to represent the City of Newnan.

**MOTION CARRIED. (7 – 0)**

**PARKS COMMISSION RECOMMENDATION REGARDING CJ SMITH PARK AND FUTURE PARKS**

The City Manager presented some ideas that were discussed at the Retreat. The CJ Smith Park is at the top of the list.

**CJ Smith Park**

A conceptual Master Plan for CJ Smith was presented at a public meeting held at the park. The master plan included splash pads, adventure playground, pavilions, restrooms, skate and bike park facilities, expand parking, and grass play areas. The Parks Commission met after the public meeting to review the comments and master plan and is recommending that Council adopt the Master Plan and move forward in selecting a design team to prepare a final plan and establish a reasonable budget.

**Pickett Field Renovations**

This project will completely renovate the baseball field. The intent is to upgrade the field so that it accommodates all ages of baseball and softball. The idea is to design the field so that it is adaptable for football, soccer and lacrosse. The project would include new seating, concessions, dugouts, score boards and shaded viewing areas.

**Pickle Ball Facility**

This idea was originally presented to Council for a piece of city-owned property at Diplomat Parkway. The property is undeveloped thus requiring all elements of site development (grading, stormwater, water, sewer, electric, parking) before pickle ball courts can be provided. This impacts the cost of providing such courts. Staff supports the construction of pickle ball courts, but would prefer to look at alternate sites where existing infrastructure exists. Staff would like to prepare some research on potential sites and report back to Council. This may enable the City to deliver pickle ball courts at a much lower costs.

It is the recommendation of the Parks Commission that Council approve the conceptual Master Plan for CJ Smith Park and proceeds with selecting a design team to prepare a final plan and specific project budget.

Mayor Pro Tem Jenkins suggested looking at the totality of the property which includes the Farmer Street Cemetery. Over 15 or 16 years ago the city hired an archaeologist to do a historical land survey who outlined a cemetery which identified grave depressions. I would hate to do all this work on CJ Smith Park and neglect the other half that was before us in the past.

Council instructed staff to research the Cemetery section and report back to Council with a recommendation.

Motion by Councilman DuBose, seconded by Councilman Alexander to approve the conceptual Master Plan for CJ Smith Park and proceed with selecting a design team to prepare a final plan and specific project budget as presented.

**MOTION CARRIED. (7 – 0)**

**PUBLIC HEARING – ALCOHOL BEVERAGE LICENSE GABBARD FAMILY LLC DBA LOCAL PROVISIONS – 7 E BROAD STREET**

Mayor Brady opened a public hearing on the transfer from 8 Jefferson Street to 7 E Broad Street for a Retail Off Premise (Package) Sales of Wine License for Gabbard Family dba Local Provisions located at 7 E Broad Street.

A representative was present for the hearing. No one spoke for or against the application. Mayor Brady closed the public hearing. The City Clerk advised that all the documentation had been received and everything was in order.

Motion by Councilman Koritko, seconded by Councilman Alexander to approve the application for a Retail Off Premise (Package) Sales of Wine License to transfer locations from 8 Jefferson Street to 7 E. Broad for Gabbard Family LLC dba Provisions.

**MOTION CARRIED. (7 – 0)**

**PUBLIC HEARING – ALCOHOL BEVERAGE LICENSE – NEWNAN FOOD MART, INC – 165 TEMPLE AVENUE**

Mayor Brady opened a public hearing for a Retail Off Premise (Package) Sales Malt Beverages and Wine License for Newnan Food Mart, Inc. located at 165 Temple Avenue.

A representative was present for the hearing. No one spoke for or against the application. Mayor Brady closed the public hearing. The City Clerk advised that all the documentation had been received and everything was in order.

Motion by Councilman Guillaume, seconded by Councilman Koritko to approve the application for a Retail Off Premise (Package) Sales of Malt Beverages and Wine for Newnan Food Mart, Inc. located at 165 Temple Avenue.

**MOTION CARRIED. (7 – 0)**

**PUBLIC HEARING – ALCOHOL BEVERAGE LICENSE – LITTLE GIANT FARMERS MARKET**

Mayor Brady opened a public hearing for a Retail Off Premise (Package) Sales Malt Beverages and Wine License to transfer Licensee for Little Giant Farmers market located at 487 Jackson Street.

A representative was present for the hearing. No one spoke for or against the application. Mayor Brady closed the public hearing. The City Clerk advised that all the documentation had been received and everything was in order.

Motion by Councilman Koritko, seconded by Councilman Shell to approve the application for a Retail Off Premise (Package) Sales of Malt Beverages and Wine for transfer Licensee from: Michael Dixon to: Jackson Mitchell for Little Giant Farmers Market located at 487 Jackson Street.

**MOTION CARRIED. (7 – 0)**

**RESOLUTION – GENERAL ELECTION 2019 – QUALIFYING DATES AND FEES**

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Shell to adopt a Resolution setting qualifying dates and fees for the General Election for 2019.

**MOTION CARRIED. (7 – 0)**

**RESOLUTION – GENERAL ELECTION 2019 – ELECTION SUPERINTENDENT**

Motion by Councilman Alexander, seconded by Councilman Koritko to adopt a Resolution for the General Election for 2019 appointing Jane Scoggins as election superintendent.

**MOTION CARRIED. (7 – 0)**

**INTERGOVERNMENTAL AGREEMENT (IGA) WITH COWETA COUNTY REGARDING TSPLOST**

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Shell to adopt the Intergovernmental Agreement (IGA) with Coweta County regarding TSPLOST.

**MOTION CARRIED. (7 – 0)**

**RATIFY – PURCHASE OF LOT 5, 11 FARMER COMMERCIAL PARK DRIVE**

Motion by Councilman Alexander, seconded by Councilman Shell to ratify the purchase of Lot 5, 11 Farmer Commercial Park Drive from Elizabeth F. Crain for \$213,150.00 plus costs of \$1,239.00.

**MOTION CARRIED. (7 – 0)**

**LEASE RENEWAL – NEWNAN MALE SEMINARY BUILDING – 30 TEMPLE AVENUE –  
BETWEEN CITY OF NEWNAN AND CHILDRENCONNECT – NEWNAN CHILDREN’S  
MUSEUM – TERM OF THREE YEARS**

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Koritko to approve the lease renewal for the Newnan Male Seminary Building located 30 Temple Avenue between the City of Newnan and ChildrenConnect – Newnan Children’s Museum for a term of three years.

**MOTION CARRIED. (7 – 0)**

**AGREEMENT BETWEEN THE CITY OF NEWNAN AND TERRY HOWE &  
ASSOCIATES, INC. – REAL ESTATE AUCTION LISTING**

Motion by Councilman Alexander, seconded by Councilman Shell to authorize the execution of the Real Estate Auction Listing Agreement between the City of Newnan and Terry Howe & Associates, Inc. as presented. Opposed: Jenkins

**MOTION CARRIED. (6 - 1)**

**AGREEMENT – CITY OF NEWNAN AND YOUNG MEN’S CHRISTIAN ASSOCIATION  
OF METROPOLITAN, INC - EXTENSION OF POOL OPERATIONS**

Motion by Councilman Alexander, seconded by Councilman Shell to approve the agreement to extend the Pool Operation between the City of Newnan and the YMCA as presented.

**MOTION CARRIED. (7 – 0)**

**REQUEST – CHARLES DOUGLAS, ON BEHALF OF ANNE MARIE DOUGLAS, BETTY  
INGRAM SMITH, AND JEFFERSON JAMES DAVIS – ANNEX 5.14± ACRES LOCATED  
AT 36 FRANKLIN ROAD AND OFF HELEN STREET INTO THE NEWNAN CITY LIMITS**

Motion by Councilman Shell to refer the request to the Planning Commission by Charles Douglas to annex 5.14± acres located at 36 Franklin Road and off Helen Street into the Newnan City Limits.

**MOTION DIES (LACK OF SECOND)**

Motion by Mayor Pro Tem Jenkins, to deny the request to annex 5.14± acres located at 36 Franklin Road and off Helen Street into the City Limits of Newnan.

**MOTION DIES (LACK OF SECOND)**

**INFORMATION ONLY – REZONING REQUEST BY CHARLES DOUGLAS FOR 9.85±  
ACRES LOCATED ON HELEN STREET AND BELK ROAD FROM ILT (LIGHT  
INDUSTRIAL DISTRICT) AND RS-15 (SUBURBAN RESIDENTIAL SINGLE-FAMILY**



**DWELLING DISTRICT-MEDIUM DENSITY) TO RML (RESIDENTIAL MULTI-FAMILY DWELLING-LOWER DENSITY DISTRICT) PLANNING COMMISSION**

**SCHEDULE PUBLIC HEARING – 6 GLENN STREET – JULY 16, 2019**

Motion by Councilman DuBose, seconded by Councilman Guillaume to schedule a public hearing on the substandard structure located at 6 Glenn Street for July 16, 2019.

**MOTION CARRIED. (7 – 0)**

**SCHEDULE PUBLIC HEARING – 8 GLENN STREET – JULY 16, 2019**

Motion by Councilman DuBose, seconded by Councilman Guillaume to schedule a public hearing on the substandard structure located at 8 Glenn Street for July 16, 2019.

**MOTION CARRIED. (7 - 0)**

**SCHEDULE PUBLIC HEARING – 100 SPRAYBERRY ROAD – JULY 16, 2019**

Motion by Councilman Guillaume, seconded by Councilman Koritko to schedule a public hearing on the substandard structure located at 100 Sprayberry Road for July 16, 2019.

**MOTION CARRIED. (7 – 0)**

**RESOLUTION/PUBLIC HEARING – 18 BERRY AVENUE**

The Code Enforcement Officer is seeking adoption of resolution directing property owner to either repair or demolish the structure within forty five (45) days. The cost to bring this structure into compliance by means of repair does exceed 50% of the structure's assessed tax value.

Mayor Brady open a public hearing on the substandard structure located at 18 Berry Avenue.

Mr. Daniel Moten, representing mother, is requesting thirty (30) days to decide if going to repair or demolish the structure located at 18 Berry Avenue.

Mayor Brady closed the public hearing.

Motion by Councilman Alexander, seconded by Councilman Koritko to adopt a resolution directing the property owner to repair or demolish the structure located at 18 Berry Avenue within thirty (30) days.

**MOTION CARRIED. (7 – 0)**

**RESOLUTION/PUBLIC HEARING – 33 HARDAWAY STREET**

The Code Enforcement Officer is seeking adoption of resolution directing property owner to either repair or demolish the structure within forty five (45) days. The cost to bring this structure into compliance by means of repair does exceed 50% of the structure's assessed tax value.

Mayor Brady opened a public hearing on the substandard structure located at 33 Hardaway Street.

Ms. Smith stated the property is under contract and they are in process of contacting all the heirs and are requesting 90 days.

Mayor Brady closed the public hearing.

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Alexander to adopt a resolution directing the property owner to repair or demolish the structure within one hundred twenty (120) days for structure located at 33 Hardaway Street.

**MOTION CARRIED. (7 – 0)**

**CONTINUED – RESOLUTION – 11 MELSON STREET**

The Code Enforcement Officer indicated this was continued from the April meeting. He spoke to the owner and she is present.

Ms. Cassandra Richardson, owner, informed Council the property is under contract and closing date is scheduled for July 17, 2019. The buyer is aware there is a resolution on the property.

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Alexander to adopt a resolution directing the property owner to repair or demolish the structure within sixty (60) days for structure located at 11 Melson Street.

**MOTION CARRIED. (7 – 0)**

**CONTINUED – RESOLUTION – 15 ELM CIRCLE**

The Code Enforcement Officer indicted this is continued from the April meeting. He stated he had email from City Attorney informing him the family has hired an attorney to sign a petition to remove the executor of the estate. Michael Sumner, attorney, will be named executor. Council would like to continue this matter until the July meeting in order for the family members to get an answer on the legal issues.

Motion by Councilman Shell, seconded by Mayor Pro Tem Jenkins to continue the resolution for 15 Elm Circle until the July 16 meeting for family to get legal issues resolved.

**MOTION CARRIED. (7 – 0)**

**STATUS REPORTS – 10 BURCH AVE, 280 WEST WASHINGTON ST, 121 PINSON ST,  
180 WEST WASHINGTON ST, 17 RAY ST, 11 MELSON ST AND 15 ELM CIRCLE**

<u>Property</u>	<u>Owner</u>	<u>Status</u>	<u>Resolution Deadline</u>
10 Burch Ave	Abdul Kader	No progress	06/09/2019
280 W Washington	Irvin Jones Estate	Progress made	10/06/2019
121 Pinson St	Marcus Beasley	No progress	08/05/2019
180 W Washington	Render Godfrey	No progress	09/07/2019
17 Ray St	Salome Realty	No progress	06/26/2019
11 Melson St	Cassandra Richardson	No progress	06/18/2019
15 Elm Circle	Mary Jane Payne Est	No progress	06/18/2019

These properties have been before Council with public hearings.

Motion by Councilman Alexander, seconded by Councilman Shell to approve an extension request by owner for 10 Burch Avenue for ninety (90) days to complete repairs.

**MOTION CARRIED. (7 - 0)**

**PUBLIC HEARING – WALTER DRAKE CHANGE ZONING ON 1.23± ACRES  
LOCATED AT 5,8 AND 9 ELLIS STREET AND 65,66,69 AND 70 FAIR STREET FROM  
CHV (HEAVY COMMERCIAL DISTRICT AND CUN (URBAN NEIGHBORHOOD  
COMMERCIAL DISTRICT) TO RU-I (URBAN RESIDENTIAL DWELLING DISTRICT –  
HISTORICAL AND INFILL)**

Mayor Brady opened a public hearing on the zoning change of 1.23± acres located at 5, 8, and 9 Ellis Street and 65, 66, 69 and 70 Fair Street from CHV (Heavy Commercial District and CUN (Urban Neighborhood Commercial District) to RU-I (Urban Residential Dwelling District- Historical and Infill).

The Planning Director stated Walter Drake came to the City a few months ago seeking rezoning for one lot with a house and duplex. Staff was concerned about spot zoning. He revamped the request and now is requesting 6 lots located off Fair and Ellis Streets. He is seeking RU-I zoning (duplex would still need a special exception before the Board of Zoning and Appeals). The applicant would like his houses to be conforming uses so if they are destroyed they can be replaced. He discussed with other neighbors, but they were not interested in their own properties changing but were not opposed to his. Staff has reviewed the request in terms of the criteria for considering a rezoning request and the full report is included in your packet. The properties are primarily surrounded by commercial

zonings, but the uses are mostly grandfathered residential homes with the exception of the properties along Temple, the vacant industrial land across the railroad tracks, and the NFD station 3. Since they are existing structures, there will be no change in terms of service provision including traffic. As far as the Comprehensive plan it shows the properties east of Ellis Street as Mixed Use Commercial (they would be consistent); the properties west of Ellis would not be consistent with their future commercial designation. However, there are enough residential units in the area to be considered for mixed use commercial at the next Comp Plan update. In addition, the applicant has done a lot of work on the lots in an effort to improve the look of the neighborhood. The Planning Commission held a public hearing on May 14, 2019 and recommends unanimously approving the application as submitted.

Applicant

Mr. Walter Drake stated he is seeking to change the zoning on 1.23 ± acres located at 5, 8 and 9 Ellis Street and 65, 66, 69 and 70 Fair Street to RU-I (Urban Residential Dwelling District).

Mayor Brady closed the public hearing.

Motion by Councilman Alexander, seconded by Councilman DuBose to accept the report from the Planning Commission.

**MOTION CARRIED. (7 – 0)**

**ORDINANCE – AMEND ZONING MAP**

Motion by Councilman DuBose, seconded by Mayor Pro Tem Jenkins to adopt an Ordinance to Amend the Zoning Map for various pieces of Land located in 5<sup>th</sup> Land District identified as 5, 8 and 9 Ellis Street and 65, 66, 69 and 70 Fair Street to RU-I (Urban Residential Dwelling District – Historical and Infill District).

**MOTION CARRIED. (7 – 0)**

**CHANGE ORDER FOR MCINTOSH PARKWAY/GREISON TRAIL CULVERT TO ACCOMMODATE LINC SECTION C**

Motion by Councilman Alexander, seconded by Mayor Pro Tem Jenkins to approve the Change Order by the current project team for McIntosh Parkway/Greison Trail culvert project to accommodate for LINC Section C, total cost for the change order is \$376,254.55 and funding from SPLOST 2013 and Impact Fees.

**MOTION CARRIED. (7 – 0)**

**2<sup>ND</sup> AND FINAL READING – ORDINANCE – SPECIAL ELECTION REFERENDUM – SUNDAY BRUNCH**

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Alexander to adopt on 2<sup>nd</sup> and Final Reading an Ordinance for Special Election Referendum for Sunday Brunch extending Sunday time to sell alcoholic beverages by drink to 11:00 am to 12:30 pm.

**MOTION CARRIED. (7 – 0)**

**RESOLUTION – CALLING FOR A REFERENDUM IN CONJUNCTION WITH THE CITY'S GENERAL ELECTION – NOVEMBER 6, 2019 – CHANGING THE TIME TO SELL ALCOHOLIC BEVERAGE**

Motion by Councilman DuBose, seconded by Councilman Koritko to adopt a Resolution Calling for a referendum in conjunction with the City's General Election approving an amendment to change time to sell alcoholic beverages for consumption on premises on Sundays.

**MOTION CARRIED. (7 – 0)**

**2<sup>ND</sup> AND FINAL READING - NEWNAN UTILITIES – GREASE ORDINANCE AMENDMENT**

Motion by Councilman Alexander, seconded by Councilman Guillaume to adopt on 2<sup>nd</sup> and Final Reading to amend the Code by adopting a Fat, Oils and Grease Management Ordinance for the City and for other purposes.

**MOTION CARRIED. (7 – 0)**

**2<sup>ND</sup> AND FINAL READING – ORDINANCE – AMEND ZONING MAP PROPERTY LOCATED OFF HIGHWAY 29 NORTH AND OLD ATLANTA ROAD 17.97± ACRES**

Mayor Brady turned the meeting over to Mayor Pro Tem Jenkins indicating he has a business relationship with property owner.

Motion by Councilman Shell, seconded by Councilman Alexander to amend the Zoning Map for property located off Highway 29 North and Old Atlanta Road, 17.97± acres in Land lot 88 of the fifth land district. Recuse: Brady.

**MOTION CARRIED. (6 – 0 - 1)**

**REQUEST – NEWNAN JUNIOR SERVICE LEAGUE – HOLD 5K/10K AND FUN RUN – AROUND DOWNTOWN NEWNAN- SAME ROUTE AS IN PREVIOUS YEARS**

Motion by Councilman Alexander, seconded by Mayor Pro Tem Jenkins to approve the request by Newnan Junior Service League to hold 5K/10K and Fun Run around downtown Newnan on the same route as in previous years on March 14, 2020 beginning at 7:30 am.

**MOTION CARRIED. (7 – 0)**

**REQUEST – BRENDA DUNN – WOODBINE NEIGHBORHOOD ASSOCIATION - HOST A BLOCK PARTY AT THE END OF WOODLANE DRIVE**

Motion by Councilman Koritko, seconded by Councilman Shell to approve the request by Brenda Dunn for Woodbine Neighborhood Association to host a block party at the end of Woodlane Drive which is a cul-de-sac with no exits on August 23, 2019.

**MOTION CARRIED. (7 – 0)**

**FOUNDATION CHRISTIAN CHURCH – REQUEST CLOSE PORTION OF ARMORY ROAD**

Motion by Councilman Koritko, seconded by Councilman Guillaume to approve the request by Foundation Christian Church to close portion of Armory Road from 11 am – 3 pm for events on Sundays 6/30/2019 and 7/28/2019.

**MOTION CARRIED. (7 – 0)**

**PRESENTATION OF RUTH HILL ELEMENTARY YOUTH LEADERSHIP BOOK – OUTCROPPING FROM THE CRIME REDUCTION TASK FORCE**

The Police Chief informed Council in 2014 when 3 young men were killed in the Chalk Level area, this opened up a Community Resource Officer for the Newnan Police Department as part of the Task Force program that was created.

Ms. Cynthia Culbreath informed Council they came together for action in the African American community. The Ruth Hill Elementary Youth Leadership group was created two years ago. This year we wanted to step up to next level. We are focusing on social skills and team work. The group had to write something positive about themselves and what made them special. A book was created with each child signing the book. A book was presented to Mayor Brady. He will present the book to the Carnegie Library.

**REQUEST – JENNIFER YEAGER – USE GREENVILLE STREET PARKING SPACES FOR FOOD TRUCKS FOR FRAYED EDGES FESTIVAL**

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Koritko to approve the request by Jennifer Yeager to use Greenville Street parking spaces for food trucks for Frayed Edges Festival on August 17, 2019 at the park.

**MOTION CARRIED. (7 – 0)**

**REQUEST – DEIDRE BEMBRY – HOLD KERIS KARES 5K – SAME ROUTE USED IN PREVIOUS YEARS**

Motion by Mayor Pro Tem Jenkins, seconded by Councilman Koritko to approve the request from Deidre Bembry to hold Keris Kares 5K and Family Fun Day on May 16, 2020 on the same route used in previous years beginning at 6:00 am.

**MOTION CARRIED. (7 – 0)**

**REQUEST – USE OF RIGHT OF WAYS FOR KIKI TREE PICTURES, INC – FILMING OF “THE CONJURING 3” DURING JUNE AND JULY 2019**

The Assistant City Manager informed Council, Staff has reviewed the application and all required materials needed for filming in the City have been met.

The General Manager of KiKi Tree Picture, Gerald Averill, presented the schedule of “The Conjuring 3 for June and July filming. There will be no street closures on June 25, 2019 – June 27, 2019. On Friday June 28, 2019 there will be street closures. There will no parking on the south side of W. Washington Street from Jackson Street to Brown Street for prep. 7am – 3 am. No parking on the North side of S. Court Square from LaGrange Street 7am – 3 am. No Parking on East side of W. Court Square from W. Broad to West Washington from 7am – 3 am. This will create over 100 parking spaces being closed. We are talking about possibility of having valet or shuttle service for those days of street closures. There is a possibility the filming can start later. He indicated they are in the process of notifying all of the merchants that the closures of streets will affect. Mayor Brady indicated the parking is overwhelming and what an impact this will have on the merchants. He stated most of the merchants approve of the filming. A smaller crew will be filming at various locations throughout Newnan on July 8, 2019. There will be no prep days before this shoot day. All prep work will be done right before filming.

Jason Kanner, downtown merchant, informed Council he reached out to the filming company and they were fairer than the other companies. Parking is a big issue and maybe shuttle or valet is a good deal.

Daniel Barrett, representing his wife who has a business in the area of filming, indicating she had not been contacted. They just happened to see a sign yesterday regarding the issue.

The Assistant City Manager stated she is not in the area to be contacted. She is on an off street from the area that is affected. Knowing where to draw the line is very difficult.

Jeff Morgan, merchant, indicated he had been notified and they had reached an agreement.

Councilman Guillaume suggested we may want to revisit the scheduling and what impact the filming has on the community with closing streets back to back.

Motion by Councilman Alexander, seconded by Councilman Guillaume to instruct Staff to work with Filming Company to work out best deal on the impact of the parking issue.

**MOTION CARRIED. (7 – 0)**

**ADJOURNMENT**

Motion by Councilman Koritko, seconded by Councilman Guillaume to adjourn the Council meeting at 7:55 pm.

**MOTION CARRIED. (7 – 0)**

\_\_\_\_\_  
Della Hill, City Clerk

\_\_\_\_\_  
Keith Brady, Mayor



# APPLICATION FOR ALCOHOL BEVERAGE LICENSE ADDING DISTILLED SPIRITS

Name: TWO EAST COURT SQUARE, LLC

Licensee: CHAD SMITH

License Representative (if required): N/A

Type License: **Retail On Premise (Pouring) Sales of Distilled Spirits, Malt Beverages and Wine**

Location: 2 EAST COURT SQUARE

**TO CITY COUNCIL: REASON: ADDING DISTILLED SPIRITS**

(1) The above application with supporting documents and application fee has been filed in the City Clerk's office; reviewed by the appropriate departments of the City and appears to be (complete) (~~incomplete~~). (Sec 3-33)

If incomplete, reasons \_\_\_\_\_  
\_\_\_\_\_

(2) The citizenship requirements (have) (~~have not~~) been met. (Sec. 3-34)

If not, reasons \_\_\_\_\_  
\_\_\_\_\_

(3) Residency requirements (have) (~~have not~~) been met. (Sec. 3-35)

If not, reasons \_\_\_\_\_  
\_\_\_\_\_

The location appears (to comply) (~~not to comply~~) with zoning requirements. (Sec 3-37)

If not, reasons \_\_\_\_\_  
\_\_\_\_\_

Application - Beverage License

Page 2

(5) The location of the proposed premises appears (to comply) (~~not to comply~~) with the distance requirements set forth in Sec. 3-39.

If not, reasons \_\_\_\_\_  
\_\_\_\_\_

(6) All taxes or other debts to the City (are) (~~are not~~) current. (Sec 3-38)

If not, reasons \_\_\_\_\_  
\_\_\_\_\_

(7) A publisher's affidavit (~~has~~) (has not) been filed showing the notice requirement (has) (has not) been complied with. (Sec 3-40 (a))

If not, reasons Advertised. Will file affidavit prior to hearing.

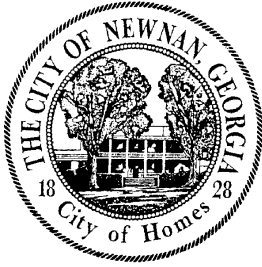
(8) An affidavit from the applicant certifying posting of the proposed premises (has) (has not) been filed. (Sec. 3-40(b))

If not, reasons N/A

Respectfully submitted,



Della Hill  
City Clerk



## City of Newnan, Georgia - Mayor and Council

Date: July 16, 2019

Agenda Item: Public Hearing for the 2019 update to the Capital Improvements Element, which includes the 2019 update to the Short-Term Work Program

Prepared and Presented by: Chris Cole, Planner

Submitted by: Tracy Dunnavant, Planning and Zoning Director

**Purpose:** To inform the public of the City of Newnan's completion and intent to adopt its update to the Capital Improvements Element (CIE) of the 2016-2036 Comprehensive Plan, this includes the Short-Term Work Program; to receive suggestions and comments on the proposed updates.

**Background:** The Georgia Development Impact Fee Act (GDIFA) was enacted into law in 1990. It sets rules for local governments that wish to charge new development for a portion of the additional capital facilities needed to serve it. Under GDIFA, local governments may impose exactions on developers to help finance the expansion of their infrastructure systems only through an impact fee system and only for the specific types of facilities and infrastructure listed in the law.

All local governments that utilize an impact fee system under the GDIFA must include CIEs in their comprehensive plans and update the CIE portion of their plan annually. The STWP is included as a part of the CIE.

Per the minimum standards of the planning process, all local governments must hold one public hearing prior to the transmittal of their updates. Official transmittal to the Three Rivers Regional Commission (RC) and the Georgia Department of Community Affairs (DCA) is planned to be requested at the August 13 Council meeting. After review and approval of the CIE update by the RC and DCA, the Council will be asked to officially adopt the CIE update for 2019.

### **Options:**

- A. Hold a public hearing to inform the public of the City's completion and intent to adopt the update to its CIE

**Funding:** N/A

**Recommendation:** N/A

**Attachments:** Draft version of 2019 CIE Update

**Previous Discussions with Council:** N/A

The seal of the City of Newnan, Georgia, is a circular emblem. It features a central illustration of a large, leafy tree in front of a building with a prominent steeple. The text "THE CITY OF NEWNAN, GEORGIA" is written in a circular path around the top of the seal, and "18 City of Homes 28" is written around the bottom. The seal is rendered in a light gray, semi-transparent style.

# **Comprehensive Plan**

## **2016-2036**

Capital Improvements Element  
with Short-Term Work Program  
**2019 Update**



# TABLE OF CONTENTS

---

<b>I. Introduction.....</b>	<b>1</b>
<b>II. Short-Term Work Program (STWP) Updates and Long-Term and Ongoing Activities.....</b>	<b>2</b>
STWP.....	2
Long-Term, Indefinite, and Continuous Activities.....	4
<b>III. Impact Fee Financial Report Updates.....</b>	<b>5</b>
<b>IV. Capital Improvements Element (CIE) Project Updates.....</b>	<b>6</b>
Parks and Recreation.....	6
Fire Services.....	6
Roads, Streets, and Bridges.....	7
<b>V. Wastewater Collection and Treatment Updates.....</b>	<b>8</b>
Impact Fee Financial Report.....	8
Short-Term Work Program.....	8
Long-Term, Indefinite, and Continuous Activities.....	9
Capital Improvements Element.....	9

## Update 2019

### I. Introduction

The Georgia Development Impact Fee Act (GDIFA) requires all jurisdictions that levy impact fees to include a Capital Improvements Element (CIE) within the Community Agenda portion of their comprehensive plan. Furthermore, GDIFA requires those jurisdictions that prepare a CIE for their comprehensive plan to update it annually. An annual CIE update includes three components:

1. An annual update to the Short-Term Work Program (STWP) that covers a five-year period, which includes the current year plus the next four years.
2. An annual report on impact fee finances.
3. An updated list of all CIE projects that receive funding from impact fees, which covers the same five-year period as the STWP.

## Update 2019

### II. Short-Term Work Program (STWP) Updates and Long-Term and Ongoing Activities

Whether or not a jurisdiction is required to have a CIE in their comprehensive plan they must have a STWP, as required by the Georgia Planning Act. This is necessary to maintain Qualified Local Government (QLG) status. The STWP is a key implementation tool, which reflects those activities and strategies the local government has chosen to undertake in the current five-year period (2019-2023). The City of Newnan has chosen to also provide a long-term and ongoing activities table for reference.

IMPROVEMENTS   STWP ADDENDUM						
Project or Activity	Project Start Date	Project Completion Date	Estimated Project Cost	Portion Chargeable to Impact Fees	Sources of Funds (& Share)	Responsible Party
Develop LINC trail system (Phases 1-4)	2017	2021	\$10,035,800	\$3,800,000	SPLOST 13, Impact Fees, General Fund	City Manager
Improvements to Lower Fayetteville Road (PE Phase I Scoping)	2019	2021	\$625,000	\$0	Federal Share is \$500,000, Match Amount is \$125,000 (SPLOST 13)	Engineering
Implement gateway signage master plan and install signage in phases	2014	2019	\$250,000	\$0	SPLOST 13	Business Development, Beautification
Build Fire Station #4	2014	2019	\$3,073,797	\$1,500,000	SPLOST 13, Impact Fees	City Manager
Improvements to City Hall	2014	2019	\$91,500	\$0	SPLOST 07	City Manager
Construct McIntosh Parkway	2014	2019	\$7,173,000	\$2,000,000	Impact Fees, SPLOST 07, SPLOST 13, GTIB Grant	Engineering
Jackson/Jefferson/Clark/Bullsboro segment traffic study	2015	2019	\$75,000	\$0	LCI, SPLOST 13, Match Amount is \$18,750	Engineering
Jackson Street (North) from Elm Street to Clark Street	2018	2019	\$355,350	\$0	TBD, City, Match Amount is \$71,070	Engineering
E. Washington Street from Farmer Street to Perry Street	2019	2020	\$1,234,170	\$0	LCI, City, Match Amount is \$246,834	City
Andrew Street Extension from Augusta Drive to E. Broad Street	2018	2021	\$4,549,000	\$2,500,000	Impact Fees, City	City

# CITY OF NEWNAN | Annual STWP-CIE

## Update 2019

E. Broad/Farmer Signal	2016	2019	\$130,000	\$0	SPLOST 13	City
Intelligent traffic operations	2016	2019	\$200,000	\$0	SPLOST 13	Engineering
Obtain light duty response truck	2018	2020	\$200,000	\$200,000	Impact Fees	Fire
Work with the Historical Society to develop an educational program extolling the benefits of historic preservation and historic tourism	2014	2019	Staff Time, Other materials	\$0	City, Historical Society, Hotel/Motel Tax, Grants (Shares Unknown)	Historical Society, Convention & Visitors Bureau, PIO, Business Development
Obtain National Register District designation for Chalk Level Neighborhood	2013	2020	\$2,000	\$0	NURA	NURA, Planning & Zoning
Continue Neighborhood Stabilization Program (NSP III)	2011	2020	\$100,000	\$0	Neighborhood Stabilization Program Grant	Planning & Zoning, Housing Authority
Continue Neighborhood Stabilization Program (NSP I)	2013	2020	\$100,000	\$0	NSP Revenue, NSP Grant	Planning & Zoning, Housing Authority, Habitat for Humanity
Sidewalks along Greison Trail	2014	2021	\$800,000	\$0	SPLOST 19	Public Works
Sidewalks along Sprayberry Road	2014	2020	\$278,000	\$0	SPLOST 19	Public Works

Source: City of Newnan

Note: Building, Planning & Zoning, Public Works, Beautification, Information Technology, Police, Fire, Engineering, Business Development refer to those respective departments of the City of Newnan. County refers to Coweta County. Acronyms used refer to: RC- Three Rivers Regional Commission, ARC- Atlanta Regional Commission, GRTA- Georgia Regional Transportation Authority, PIO- Public Information Officer, NURA- Newnan Urban Redevelopment Agency, UWG – University of West Georgia, NCAC – Newnan Cultural Arts Commission, NH – Newnan Hospital. Other groups referenced, like the Historical Society, represent those organizations servicing either Newnan or Coweta County as a whole.



# CITY OF NEWNAN | Annual STWP-CIE

## Update 2019

IMPROVEMENTS   STWP ADDENDUM LONG-TERM, INDEFINITE, AND CONTINUOUS ACTIVITIES*						
Project or Activity	Project Start Date	Project Completion Date	Estimated Project Cost	Portion Chargeable to Impact Fees	Sources of Funds (& Share)	Responsible Party
Develop LINC trail system	2017	2027	\$27,847,026.90	\$3,800,000	Impact Fees, City, County	City Manager
Improvements to Lower Fayetteville Road	2017	2028	\$67,560,000	\$2,500,000	Impact Fees, City, FHWA	Engineering
Acquire a heavy duty vehicle for fire department	2024	2024	\$550,000	\$550,000	Impact Fees	Fire
Acquire a heavy duty vehicle for fire department	2026	2026	\$600,000	\$600,000	Impact Fees	Fire
Acquire a heavy duty vehicle for fire department	2030	2030	\$650,000	\$650,000	Impact Fees	Fire

Source: City of Newnan

Note: Beautification, Fire, Engineering refer to those respective departments of the City of Newnan.

\*Long-Term means any activity that is to begin in or more than five years (2024) from the current year (2019). All activities that have an indefinite or continuous end date, but a known start date prior to 2024, are included here to have the STWP represent only activities with known start end dates. Also, it is conceivable that many of the activities with unknown end dates are or may become permanently ongoing activities.

# CITY OF NEWNAN | Annual STWP-CIE Update 2019

## III. Impact Fee Financial Report Updates

The purpose of annually reporting on the financial state of impact fees is to provide an overview of impact fees collected and spent by category of public facility and service area. As seen below, there is a report for 2018, which is the last completed year.

ANNUAL FINANCIAL REPORT FOR 2018					
Public Facility Type	Parks and Recreation	Fire Services	Police Protection	Roads, Streets, and Bridges	Total
Service Area	City of Newnan		City of Newnan	City of Newnan	City of Newnan
Beginning Impact Fee Fund Balance	\$1,923,147.17	\$455,089.94	\$1.92	\$94,378.15	\$2,472,617.18
Impact Fees Collected	\$553,388.82	\$245,301.29	\$0	\$131,992.57	\$930,682.68
Accrued Interest	\$3,418.80	\$1,324.34	\$0	\$243.08	\$4,986.22
Project Expenditures	\$2,335,837.09	\$260,633.61	\$0	\$173,767.48	\$2,770,238.18
Impact Fee Refunds	\$0	\$0	\$0	\$0	\$0
Ending Impact Fee Fund Balance	\$144,117.70	\$441,080.96	\$1.92	\$52,846.32	\$638,047.90
Impact Fees Encumbered	\$0	\$0	\$0	\$0	\$0

Source: City of Newnan Finance Department – Fund 375 Impact Fees

### Administrative Fees

Three percent of each impact fee is added to the final amount as an administrative fee. This portion of the impact fee pays for banking fees to maintain the impact fee account and helps fund the salaries of the administrator who collects the impact fees and other staff members of the Planning and Zoning Department who update the CIE, prepare financial reports, and other related activities. For 2018, the only costs associated with implementation were banking fees and the salaries of those various employees. The amount collected in administrative fees was \$25,638.68.

## Update 2019

### IV. Capital Improvements Element (CIE) Project Updates

A capital improvement is an improvement that increases the service capacity of a public facility and has a useful life of ten or more years due to new construction or some other action. The CIE projects tables below show all planned capital improvements with expected completion dates within the current five-year period.

#### Capital Improvements Projects: Parks and Recreation

Newnan		Capital Improvements Projects - 2019					
Public Facility		Parks and Recreation					
Service Area		City Limits					
Project Description	Project Start Date	Project End Date	Estimated Cost of Project	Portion Chargeable to Impact Fees	Funding Sources	Responsible Party	Status
Develop LINC trail system (Phases 1-4)	2017	2021	\$10,035,800	\$3,800,000	SPLOST 13, Impact Fees, General Fund	City Manager	Under Construction

Source: City of Newnan Planning and Zoning Department

#### Capital Improvements Projects: Fire Services

Newnan		Capital Improvements Projects - 2019					
Public Facility		Fire Services					
Service Area		City Limits					
Project Description	Project Start Date	Project End Date	Estimated Cost of Project	Portion Chargeable to Impact Fees	Funding Sources	Responsible Party	Status
Obtain light duty response truck	2018	2020	\$200,000	\$200,000	Impact Fees	Fire	Planning
Build Fire Station #4	2014	2019	\$3,073,797	\$1,500,000	SPLOST 13, Impact Fees	City Manager	Planning

Source: City of Newnan Planning and Zoning Department

# CITY OF NEWNAN | Annual STWP-CIE

## Update 2019

### Capital Improvements Projects: Roads, Streets, and Bridges

Newnan		Capital Improvements Projects - 2019					
Public Facility		Roads, Streets, and Bridges					
Service Area		City Limits					
Project Description	Project Start Date	Project End Date	Estimated Cost of Project	Portion Chargeable to Impact Fees	Funding Sources	Responsible Party	Status
Construct McIntosh Parkway	2014	2019	\$7,173,000	\$2,000,000	Impact Fees, SPLOST 07, SPLOST 13, GTIB Grant	Engineering	Under Construction
Andrew Street Extension from Augusta Drive to E. Broad Street	2018	2021	\$4,549,000	\$2,500,000	Impact Fees, City	Engineering	Early Concept Phase

Source: City of Newnan Planning and Zoning Department

\* McIntosh Parkway was referred to as East Washington Extension and Greison Trail/Bypass Connector, respectively, in earlier CIEs.

## Update 2019

### V. Wastewater Collection and Treatment Updates

As with the Comprehensive Plan, wastewater collection and treatment is being reported separately from the other public facilities. This is due to the fact that Newnan Utilities, the City’s appointed authority for administering public utilities, provides service for this specific category. The other public facilities included in this update are direct operations of the City. Newnan Utilities provides all the information for wastewater collection and treatment concerning the Comprehensive Plan and CIE updates. They also levy and collect the impact fees for wastewater collection and treatment.

Similar to previous public facilities, those items for wastewater collection and treatment that have completion dates beyond 2023 are not shown in the CIE and STWP.

ANNUAL FINANCIAL REPORT FOR 2018	
Public Facility Type	Wastewater Collection and Treatment
Service Area	City of Newnan
Beginning Impact Fee Fund Balance	\$5,061,751.93
Impact Fees Collected	\$1,768,207.96
Accrued Interest	\$0.00
Project Expenditures	\$1,019,164.62
Administrative Costs	\$53,046.24
Impact Fee Refunds	\$0
Ending Impact Fee Fund Balance	\$5,757,749.03
Impact Fees Encumbered	\$0

Source: Newnan Utilities

IMPROVEMENTS   STWP ADDENDUM						
Project or Activity	Project Start Date	Project Completion Date	Estimated Project Cost	Portion Chargeable to Impact Fees	Sources of Funds (& Share)	Responsible Party
Mineral Springs Upgrade	2016	2021	\$4,500,000	\$4,500,000	Impact Fees (100%)	Newnan Utilities
Collection System Improvements	2018	2022	\$2,000,000	\$2,000,000	Impact Fees (100%)	Newnan Utilities

# CITY OF NEWNAN | Annual STWP-CIE

## Update 2019

IMPROVEMENTS-STWP ADDENDUM LONG-TERM, INDEFINITE, AND CONTINUOUS ACTIVITIES*						
Project or Activity	Project Start Date	Project Completion Date	Estimated Project Cost	Portion Chargeable to Impact Fees	Sources of Funds (& Share)	Responsible Party
Phase III – Expansion of Mineral Springs WPCP	Indefinite	Indefinite	\$13,000,000	\$13,000,000	Impact Fees (100%), Other Sources	Newnan Utilities
Phase IV – Expansion Wahoo Creek	Indefinite	Indefinite	\$15,000,000	\$15,000,000	Impact Fees (100%), Other Sources	Newnan Utilities
Land Treatment	Indefinite	Indefinite	\$10,000,000	\$10,000,000	Impact Fees (100%), Other Sources	Newnan Utilities
Collection System Construction	Indefinite	Indefinite	\$5,000,000	\$5,000,000	Impact Fees (100%), Other Sources	Newnan Utilities

Source: Newnan Utilities and Wiedeman and Singleton, Inc.

\*Long-Term means any activity that is to end more than five years (2024) from the current year (2019). It is conceivable that many of the activities with unknown end dates are or may become permanently ongoing activities. In addition, the figures are not exact totals for the projects they represent. They are estimates as used in the "Calculation of Impact Fee in 2005" table.

### Wastewater Collection and Treatment CIE

Newnan	Capital Improvements Projects -- 2019				
Public Facility	Wastewater Collection and Treatment				
Service Area	City Limits				
Project Description	Project Start Date	Project End Date	Estimated Cost of Project*	Funding Sources	Status
Grit Collector, Clarifier Drivers, Belt Press Upgrade, Bar Screen Upgrade	2018	2022	\$1,200,000	Impact Fees (100%)	Planning
Mineral Springs Upgrade	2016	2021	\$4,500,000	Impact Fees (100%)	Construction
Collection System Improvements	2018	2022	\$2,000,000	Impact Fees (100%)	Planning



## City of Newnan, Georgia - Mayor and Council

Date: July 16, 2019

Agenda Item: Consideration of a Grounds Lease Agreement between the City of Newnan and the Community Action for Improvement (CAFI)

Prepared by: Hasco Craver, Assistant City Manager

**Purpose:** Newnan City Council shall consider an updated Agreement for the property located 53 Savannah Street between the City of Newnan and CAFI for the purpose of providing a facility to offer specific programs to low-income families in the City of Newnan and surrounding areas.

**Background:** The City of Newnan and CAFI have, for many years, had an agreement in place for the use of the facility located at 53 Savannah Street to offer community programs to low-income families. This agreement has not been updated nor renewed in several years. From a liability standpoint both parties (CITY/CAFI) felt it was in everyone's best interest to make sure that there is current agreement place. Therefore, staff has drafted a new updated agreement for Council consideration.

CAFI Director, Jennifer Corcione has reviewed the agreement and accepts the terms presented.

Programs that CAFI offers are:

- Housing Stability & Homeless Prevention
- Utility & Energy Service Stabilization
- Benefits Assistance/ Advocacy
- Case Management
- Youth Leadership Training
- Referrals for Veterans Benefits
- Referrals for employment/job readiness networks

**Funding:** N/A

**Recommendation:** In an effort for CAFI to continue to have a presence here in Newnan for assisting low-income families, staff recommends Council approves the 3 year renewable Grounds Lease Agreement between the City of Newnan and the Community Action for Improvement.

**Attachments:** Proposed Grounds Lease Agreement between the City of Newnan and the Community Action for Improvement (CAFI)

**Previous Discussions with Council:**

STATE OF GEORGIA  
COUNTY OF COWETA

GROUND LEASE AGREEMENT

THIS LEASE, made and entered into on this \_\_\_\_\_ day of \_\_\_\_\_, 2019, between THE CITY OF NEWNAN, GEORGIA, of the first part, hereinafter called Lessor, and COMMUNITY ACTION FOR IMPROVEMENT, INC., a non-profit organization, of the other part, hereinafter called Lessee.

WITNESSETH:

That the said Lessor has this day rented and leased and Lessee hereby accepts from Lessor the property described in Exhibit "A", attached hereto, hereinafter referred to as the "premises" or the "leased premises", the same being identified as 53 Savannah Street, Newnan, Georgia, 30263. The parties hereby acknowledge that the interest herein created is a usufruct and is not an estate for years.

TERMS

1) TERM. Lessor leases to Lessee the premises for an initial term of three years, commencing \_\_\_\_\_, 2019, and ending on \_\_\_\_\_, 2022. The Lessee shall have the option to renew this Lease for a maximum of two three-year renewal terms, which shall be consecutive to the initial term and consecutive to each other. Lessee's option to renew may be exercised by Lessee's written notice to Lessor delivered not later than three (3) months and not sooner than six (6) months prior to the end of the preceding term. Lessor reserves the right to waive in writing the necessity for Lessee's formal compliance with the notification deadlines set forth herein.

2) RENTAL. The rent during the term of this Lease as set forth herein, shall be one dollar (\$1.00) per year, payable in advance.

3) NOTICES. Whenever any notice is required or permitted hereunder, such notice shall be in writing. Any notice or document required or permitted to be delivered hereunder or not, when deposited in the United States Mail, postage paid, certified or registered mail, return receipt requested, shall be addressed to the Lessor or Lessee at its respective address as set forth below or such other addresses as either party may hereinafter specify for itself to the other by written notice.

If to Lessor: City of Newnan, Georgia  
Attn: City Manager  
P. O. Box 1193  
Newnan, Georgia 30264-1193



If to Lessee: Community Action for Improvement, Inc.  
1380 LaFayette Parkway  
LaGrange, Georgia 30241

4) INDEMNIFICATION. Lessee will indemnify the Lessor and save it harmless from and against any and all claims, actions, damages, liability and expenses in connection with loss of life, personal injury and damage to property arising from or out of any occurrence in, upon or at the premises, or the occupancy or use by lessee of the premises or any part thereof, or occasioned wholly or in part by an act or omission of Lessee, its agents, contractors, employees, servants, lessees or concessionaires. In case Lessor shall be made a party to any litigation arising in any way or manner from this Lease commenced by or against the Lessee, then Lessee shall protect and hold Lessor harmless and shall pay all costs, expenses, and reasonable attorney's fees that may be incurred or paid by Lessor in enforcing the covenants and agreements in this Lease or defending itself against said litigation.

5) LIABILITY INSURANCE. Lessee agrees during the term hereof or any renewals hereof to carry and maintain at its expense public liability insurance covering the premises in an amount of not less than \$300,000 for injury or death to any one person and \$500,000 for injury or death to any number of persons in any one incident in the names of the Lessor and Lessee, as insured's under said policy and to pay said premiums thereafter and to deliver said policy or certificate thereof to Lessor. Said liability policy shall be kept in full force and effect at all times during the term of this Lease and any renewals thereof. The Lessee shall be responsible for obtaining any insurance to protect said premises against damages from fire and casualty and to protect the contents of said building.

6) USE OF PREMISES. The premises shall be used solely to provide assistance/programs to low income families of the City of Newnan and Coweta County, and surrounding areas. Lessee shall not discriminate based upon race, creed, color, religion, sex or national origin.

7) RIGHT OF ENTRY. The Lessor and its agents reserve the right to enter upon the leased premises to view the condition of the premises and buildings, but shall have no duty to do so.

8) ASSIGNMENT AND SUBLEASING. This Lease may not be assigned nor the leased premises sublet.

9) UTILITY BILLS. Lessee shall pay certain utility costs, including but not limited to data, phone, and gas for the leased premises. Lessor shall maintain water and electric only.

10) CONDITION OF PREMISES. Lessee shall maintain the leased premises and building thereon in good order, and shall keep said premises free of debris. No junked or abandoned vehicles, excessive number of vehicles, machinery or the like shall be stored or kept on the premises. Lessor will maintain grounds as far as grass cutting, mulching, and pruning as necessary and when applicable.

11) DUTY TO REPAIR AND RESTORE. In case of damage or destruction, from time to time, by fire or otherwise, to repair, restore or rebuild the buildings and

improvements on the demised premises, in accordance with plans and specifications to be approved by the Lessor, with all reasonable dispatch and in any event within six (6) months from the time of such damage or destruction; provided, that in case of any such damage or destruction the Lessor and Lessee shall apply any and all insurance money recovered by or paid to it to such repair, restoration or rebuilding under plans and specifications approved by the Lessor; and provided, further that in case the Lessee shall not so repair, restore or rebuild within six (6) months, then such insurance money recovered by the Lessor may be retained by it as liquidated damages for the breach of the Lessee's covenant to so repair, restore or rebuild.

12) ALTERATIONS. The Lessee shall not make any alteration in the external elevation or interior design of the buildings to be placed on the leased premises, or in injure or remove any of the principal walls or timbers thereof without the written consent of Lessor.

13) NEW BUILDINGS. The Lessee agrees not to erect or permit to be erected on the leased premises any new buildings or to make or permit to be made any addition to the said building to be erected or to any buildings which may at any time during the said term be erected upon the land hereby demised, except in accordance with plans and specifications previously approved by the Lessor in writing. The Lessee may at its own cost erect upon the premises a building or addition in accordance with the plans and specifications as agreed to in writing by the Lessor. Said building or addition shall be completed within twelve (12) months of such written permission by the Lessor, unless prevented by accident or unavoidable causes. Before any construction the Lessee shall execute and deliver to the Lessor a bond, in proper form and with one or more sureties satisfactory to the Lessor, conditioned for the indemnity of Lessor against all mechanics' and other liens which may arise or be created in the erection of said building, and that when completed said building and premises shall be free from all liens. Additionally, said bond and surety shall guarantee performance and completion of said new building or addition to the Lessor.

14) LIENS AND ENCUMBRANCES. The Lessee shall not suffer the premises or any erection or improvements thereon to become subject to any lien, charge or encumbrances whatsoever, and shall indemnify the Lessor against all such liens, charges and encumbrances; it being expressly agreed that the Lessee shall have no authority, express or implied, to create any lien, charge or encumbrance.

15) ASSENT NOT WAIVER OF FUTURE BREACH OF COVENANTS. The failure of Lessor to insist, in any one or more instances, upon strict performance of any of the covenants and conditions of this Lease shall not be deemed a waiver or relinquish for a future breach of any covenant or condition of this Lease.

16) TERMINATION DUE TO LOSS OF NON-PROFIT STATUS. Should Lessee lose its status as a non-profit organization as defined by Section 501(c) of the Internal Revenue Code as amended, Lessor may at its option immediately terminate this Lease and any renewal thereof.

17) DEFAULT. If the Lessee abandons, vacates or fails to maintain the leased premises in good order, the Lessor shall have the option of terminating the Lease, in addition to and not in limitation of, any other remedies provided by law.

18) **SURRENDER.** At the termination of this Lease, the Lessee shall surrender the premises with all buildings erected thereon and additions thereto in such condition and repair as shall be in accordance with the covenants herein contained.

19) **ENTIRE AGREEMENT.** The Lease contains the entire agreement of the parties and no other agreements are effective. No amendment shall be effective unless in writing and signed by both parties.

20) **SEVERABILITY.** A determination by a court of competent jurisdiction that any provision of this Lease is unenforceable shall not invalidate the remainder of the Lease.

This Lease is executed in duplicate, each copy of which is to be construed as an original, and both parties acknowledge receipt of a copy.

IN WITNESS WHEREOF, the parties have hereunto set their hands and their seals on the day and year first above written.

LESSOR:

Signed, sealed and delivered  
in the presence of:

THE CITY OF NEWNAN, GEORGIA

\_\_\_\_\_  
Witness

By: \_\_\_\_\_  
Mayor

\_\_\_\_\_  
Notary Public

Attest: \_\_\_\_\_  
City Clerk

LESSEE:

Signed, sealed and delivered  
in the presence of:

COMMUNITY ACTION FOR IMPROVEMENTS., INC.

\_\_\_\_\_  
Witness

By: Jennifer Corcoran  
Title: Executive Director

Sherry Hendrix  
Notary Public

Attest: Patricia R Woodall  
Title: Program Administrator

**SHERRY ELAINE HENDRIX  
NOTARY PUBLIC  
TROUP COUNTY, GEORGIA  
MY COMM. EXPIRES  
11/16/2019**



## City of Newnan, Georgia - Mayor and Council

Date: July 16, 2019

Agenda Item: Consideration of an Agreement with International Mountain Biking Association and Southern Off-Road Bicycle Association (IMBA-SORBA Atlanta) to Manage Construction of a 2 mile Mountain Bike Trail

Presented By: Cleatus Phillips, City Manager

**Purpose:** Newnan City Council may consider entering into an agreement with IMBA-SORBA Atlanta to construct an approximate 2 mile mountain bike trail adjacent to the Newnan Centre LINC solely on City property per the attached site plan.

**Background:** City staff has been in discussion with IMBA-SORBA on how to enhance the mountain biker experience outside of the LINC System. IMBA-SORBA has submitted a site plan with a proposed amount of \$15,840.00 for Council consideration. This is for a basic trail system that can be added to and enhanced over time.

This will open up the LINC section between Summergrove and Lower Fayetteville Road for the average trail user (walkers, moms with strollers, and etc.) as well as highly utilize City owned property that is otherwise unusable.

This proposed 2 mile mountain biking trail will be a great addition to the City of Newnan as we enter into more active lifestyle opportunities for our citizens. This trail will not just accommodate the serious mountain biker, but will also be constructed to accommodate bike riders of all ages as well as hikers.

The location of the trail will not affect the surrounding communities. The homes that are adjacent to the trail are at such an elevation difference, there will be no affect to those properties.

**Funding:** SPLOST 2019

**Recommendation:** Newnan City Council may approve an agreement with IMBA-SORBA Atlanta to manage the construction of the 2 mile mountain bike trail adjacent to the Newnan Centre LINC in an amount not to exceed \$15,840.00

### **Attachments:**

1. IMBA-SORBA Atlanta Agreement/Proposal

**Previous Discussions with Council:** The City recently signed a Memorandum of Understanding (MOU) with the IMBA-SORBA Atlanta that establishes a partnership between the two entities. The purpose of the agreement was to establish a framework of cooperation to where both entities would team for the construction of various biking trails throughout the City parks where such trails are deemed constructible.

In recent months the SORBA group entered into the same type MOU with Coweta County and constructed roughly a mile of trail at Browns Mill Battlefield.



**MTB ATLANTA**

30 Years of Digging Trails

ATL-SORBA

**The LINC Corridor Shared Use Trails**

Project Description, Site plan and Cost Estimate

**Project Description:**

The LINC Corridor trail project area (Figure 1.) is located in Coweta County, Georgia and within the Newnan City limits. The project area runs parallel to the LINC Greenway from Highwoods Parkway to Lower Fayetteville Road. The 13.38 acre city-owned property is bounded by the Summerlin Neighborhood to the Southwest and Newnan Centre to the Northeast. A small un-named perennial stream runs parallel to the LINC Greenway and project area and a smaller un-named stream divides the project area. Two bridges or 36" culverts will be required to cross the divider stream.

**Needs Assessment:**

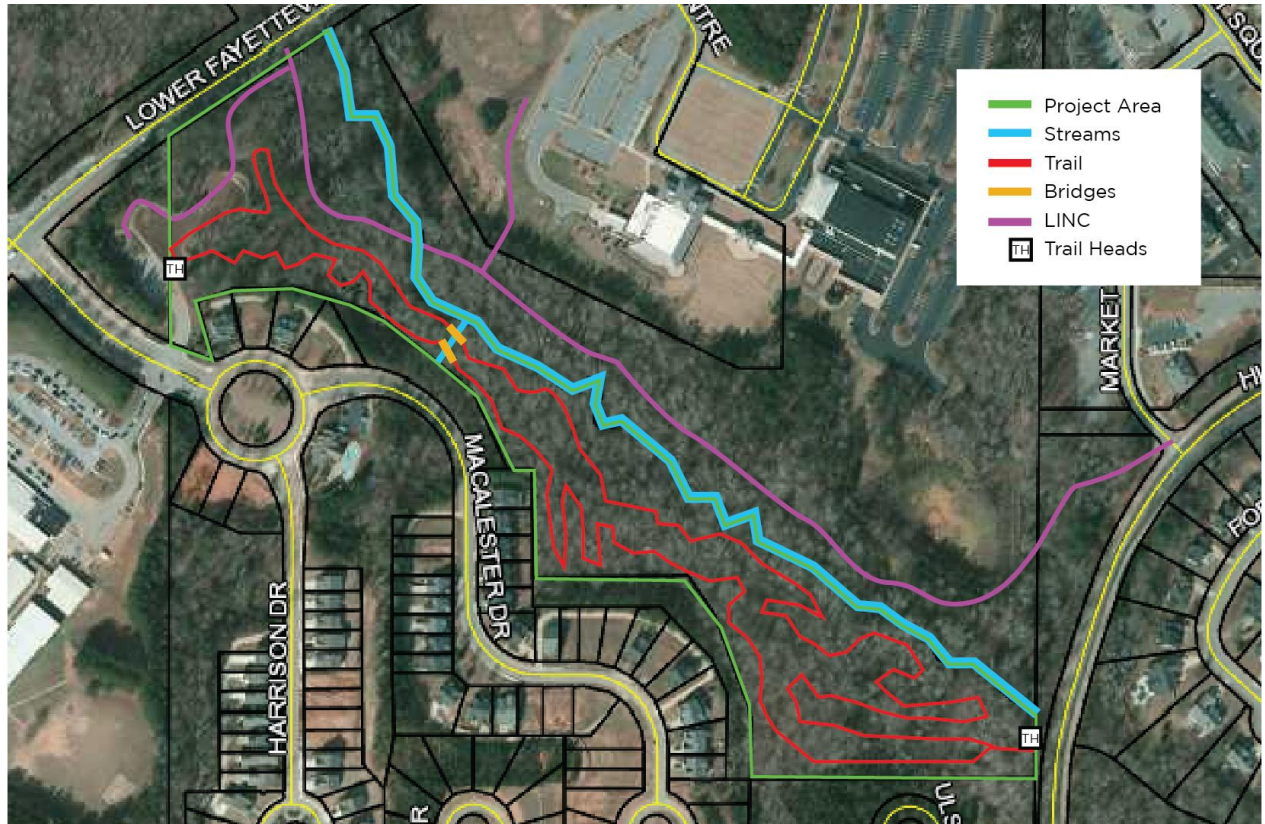
Mountain biking (MTB) has become a key activity in promoting a quality of life characteristic that espouses an image as being an outdoor recreation desirable community. The primary goal of the LINC Corridor trails is to accommodate all MTB trail users, as well as hikers and runners, with a fun enjoyable trail experience. The LINC Corridor trail project complements the LINC Greenway and would serve as recreational amenity for LINC users and local citizens. Construction costs are estimated based on recent similar projects in metro Atlanta area. However, it should be noted that cost estimates can vary significantly due to terrain, vegetation, soils, drainages, and local regulations. Final layout (flagging) has been completed. It is highly recommended that all contractors hired for this project have experience specifically in MTB trail design and construction.

**Cost Estimates:**

All trail design and construction should adhere to accepted Best Management Practices (BMPs) for sustainable trails (Appendix I). Construction for this project is \$1.5 per foot of completed trail, for a total cost not to exceed \$15,840 and not to exceed 2 miles of completed trail. These costs can vary significantly depending on the number of turns, and the amount tread enhancements as well as other factors. An assessment would be required by the City of Newnan regarding bridge construction or culvert installation based on storm water management requirements. Time and labor and equipment rental costs are included in this estimate and the project would be complete in 4-6 weeks.

# Site Plan 1-2 Miles Estimated

Figure 1



### Trail Construction & Maintenance

ATL-SORBA as an affiliate of the International Mountain Biking Association (IMBA) shall:

Provide technical assistance and volunteer labor to the land managers involved in work projects and mountain bicycling opportunities. This is to include construction and maintenance of the trail and management suggestions during and after the trails are completed.

#### Construction

ATL-SORBA will act as project manager the LINC Corridor trail project. The project will include up to two miles of shared use trail. ATL-SORBA will facilitate subcontractors as needed and acquire rental equipment in order to complete the project in a timely manner. The following is an itemized breakdown of cost of construction.

Requirement	Description	Cost
Mini Excavator Operator 1	Sub contracted mini excavator operator for duration of project	\$6920
Skid Steer Operator 1	Sub contracted skid steer operator/finisher for duration of project	\$4920
Mini Excavator Rental	Rented mini excavator from local rental company	\$2000
Skid Steer Rental	Rented mini excavator from local rental company	\$2000
	<b>Total not to exceed</b>	<b>\$15840</b>

#### Ongoing Trail Maintenance

ATL-SORBA will maintain the trail network in a manner consistent with the IMBA Methods, and all costs for such maintenance shall be the sole responsibility of ATL-SORBA. Trail maintenance will be provided as noted in ATL-SORBA's MOU with the City of Newnan. Upkeep of the trails will be provided as needed and include the clearing and reworking of trails by local ATL-SORBA Chapter Members. Trail maintenance will occur as needed seasonally and via designated ATL-SORBA workdays. Trail maintenance by volunteers outside of scheduled workdays is not permitted unless previously approved by ATL-SORBA. All trail maintenance volunteers are required to sign in and sign the SORBA waiver before work can begin. The City of Newnan will be notified regarding maintenance issues that go beyond the scope of ATL-SORBA's MOU with the City of Newnan. Such issues could include soil erosion issues, storm water issues, and damage from seasonal storms.

#### Insurance Requirements

1. Insurance Coverages for ATL-SORBA. ATL-SORBA shall purchase and maintain at its expense, and provide documentation of, a policy of comprehensive general liability insurance coverage in an amount adequate to cover volunteer-led trail design, construction, maintenance and repair consistent with this Agreement. ATL-SORBA shall furnish a certificate or other evidence of



coverage to the City of Newnan.

2. Insurance Coverages for Professional Contractors. ATL-SORBA agrees to ensure that professional contractors and other similar parties engaged by ATL-SORBA purchase through commercial insurance or approved self-insurance and have the authorized agent state on the insurance certificate that the following types of insurance coverages have been procured by such professional contractors. ATL-SORBA shall provide such reasonable evidence of insurance held by professional contractors as the City of Newnan deems necessary. The minimum required coverages and liability limits are as follows:

- a. Workers' Compensation. Workers' Compensation coverage in accordance with the statutory limits as established by the General Assembly of the State of Georgia. A group-insurer must submit a certificate of authority from the Insurance Commissioner approving the group insurance plan. A self-insurer must submit a certificate from the Georgia Board of Workers' Compensation stating that it qualifies to pay its own workers' compensation claims.
- b. Employers' Liability Insurance. Employers Liability Insurance Coverage with limits of at least:
  1. Bodily Injury by Accident \$1,000,000 each accident;
  2. Bodily Injury by Disease \$1,000,000 each employee.
- c. Commercial General Liability Insurance. Commercial General Liability Insurance (2004 ISO Occurrence Form or equivalent), which shall include, but need not be limited to, coverage for bodily injury and property damage arising from premises and operations liability, personal injury liability, fire coverage and contractual liability. The Commercial General Liability Insurance shall provide at minimum the following limits:

Coverage Limit

1. Premises and Operations \$1,000,000 per occurrence
2. Damage to Premises \$1,000,000 per occurrence
3. Personal injury \$1,000,000 per occurrence
4. General Aggregate \$1,000,000 per project
5. Contractual \$1,000,000 per occurrence

ATLANTA SORBA  
(MTB Atlanta)

City of Newnan,  
LINC Corridor Trails

The principal contacts for this agreement are:

Brett Davidson, President  
ATL-SORBA

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

Chris Doane, VP-Fayette/Coweta  
ATL-SORBA

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

Tom Sauret, Executive Director  
Southern Off-Road Bicycle Association  
2125 Elachee Dr.  
Gainesville, GA 30504  
770-654-3291

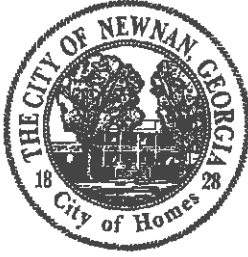
\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

L. Keith Brady, Mayor  
City of Newnan, Georgia

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



## City of Newnan, Georgia - Mayor and Council

Date: July 16, 2019

Agenda Item: Consideration of Purchasing a Sutphen Heavy Duty Custom Pumper Truck and Loose Equipment using the HGAC (Houston-Galveston Area Council) Co-Op Method.

Presented By: Stephen Brown, Fire Chief

**Purpose:** Newnan City Council may consider purchasing a Sutphen heavy duty custom pumper truck & loose equipment utilizing the Co-Op purchasing method through HGAC (Houston-Galveston Area Council).

**Background:** As part of the SPLOST 2019 referendum \$1.5 million was budgeted for fire trucks in the Public Safety category. The new truck will replace Engine 1 at Station 1. Engine 1 will in turn transfer to Station 2. This will give Station 2 a reserve engine.

Sutphen Corporation is a vendor with HGAC and has submitted a proposal for the pumper truck in the amount of \$549,962.00. Staff forwarded to the HGAC Co-Op to confirm pricing. HGAC confirmed the unit pricing was correct.

**Funding:** SPLOST 2019

**Recommendation:** Newnan City Council may approve the purchase of the heavy duty custom pumper truck and loose equipment utilizing the HGAC Co-Op method.

**Attachments:**

1. Sutphen Proposal
2. HGAC Contract Pricing Verification Notice

**Previous Discussions with Council:** At the regular June 19, 2018 Council Meeting Council approved the purchase of a 75' Aerial Quint Apparatus from Sutphen utilizing the HGAC Co-Op method for Fire Station #4. Staff have made several trips to inspect the truck and have been impressed with the quality and craftsmanship.



Helping Governments Across the Country Buy  
PO Box 22777 • 3555 Timmons Ln. • Houston, Texas 77227-2777 • 1-800-926-0234

---

**CONTRACT PRICING VERIFICATION**

---

TO: <b>Stephen Brown</b>	FROM: <b>Marlana Mack</b>
END USER: <b>City of Newman</b>	DATE: <b>07/03/2019</b>
PHONE NUMBER: <b>770-253-1851</b>	
RE: <b>Price Verification</b>	REFERENCE: <b>Sutphen Corporation Quote 6.28.19 (\$549,961.13)</b>

---

We have reviewed the pricing provided through HGACBuy Contract FS12-17. Our review verifies that the pricing provided is in compliance with the contract.

Once a purchase document is executed for this order, please send a completed compilation of all required documents for HGAC processing.

Please advise if we can assist further in this matter.

\*\*\*\*\*This is not an Order Confirmation\*\*\*\*\*



**CONTRACT PRICING WORKSHEET**  
For MOTOR VEHICLES Only

Contract No.: FS12-17

Date Prepared: 6/28/19

*This Worksheet is prepared by Contractor and given to End User. If a PO is issued, both documents **MUST** be faxed to H-GAC @ 713-993-4548. Therefore please type or print legibly.*

Buying Agency:	City of Newnan	Contractor:	Sutphen Corporation
Contact Person:	Fire Chief Stephen Brown	Prepared By:	Jerry Harley
Phone:	770-253-1851	Phone:	336-613-8202
Fax:		Fax:	
Email:	<a href="mailto:SBrown@cityofnewnan.org">SBrown@cityofnewnan.org</a>	Email:	<a href="mailto:jharley.wfa@gmail.com">jharley.wfa@gmail.com</a>

Product Code:	DDC02	Description:	Sutphen Guardian, 4 Door Custom Full Tilt Aluminum Cab, Pumper, Extruded Aluminum Body, Single Axle, 1250 GPM Pump, Mid Mounted
---------------	-------	--------------	---

**A. Product Item Base Unit Price Per Contractor's H-GAC Contract:** \$332,165.01

**B. Published Options - Itemize below - Attach additional sheet(s) if necessary - Include Option Code in description if applicable.**  
(Note: Published Options are options which were submitted and priced in Contractor's bid.)

Description	Cost	Description	Cost
		Performance Bond	\$ 2,123.35
		SEE ATTACHED	
		<b>Subtotal From Additional Sheet(s):</b>	\$ 154,271.30
		<b>Subtotal B:</b>	\$ 156,394.65

**C. Unpublished Options - Itemize below / attach additional sheet(s) if necessary.**  
(Note: Unpublished options are items which were not submitted and priced in Contractor's bid.)

Description	Cost	Description	Cost
		SEE ATTACHED	
		<b>Subtotal From Additional Sheet(s):</b>	\$ 59,401.47
		<b>Subtotal C:</b>	\$ 59,401.47

**Check:** Total cost of Unpublished Options (C) cannot exceed 25% of the total of the Base Unit Price plus Published Options (A+B).

For this transaction the percentage is: 12%

**D. Total Cost Before Any Applicable Trade-In / Other Allowances / Discounts (A+B+C)**

Quantity Ordered:	1	X Subtotal of A + B + C:	547,961.13	=	Subtotal D:	\$ 547,961.13
-------------------	---	--------------------------	------------	---	-------------	---------------

**E. H-GAC Order Processing Charge (Amount Per Current Policy)**

Subtotal E: \$ 2,000.00

**F. Trade-Ins / Other Allowances / Special Discounts / Freight / Installation**

Description	Cost	Description	Cost
		<b>Subtotal F:</b>	\$ -

**Delivery Date:** 12 - 14 months

**G. Total Purchase Price (D+E+F):** \$ 549,961.13

**City of Newnan**

**PUBLISHED OPTIONS**

<b>Add. Change, Delete</b>	<b>OPTION #</b>	<b>QTY</b>	<b>DESCRIPTION</b>	<b>CODE</b>	<b>UNIT PRICE</b>	<b>EXTENDED PRICE</b>	<b>PRICE WITH 15% DISCOUNT</b>
A	10000200	1	PROPOSAL DRAWINGS	IATS	\$0.00	\$0.00	\$0.00
A	10000210	1	APPROVAL DRAWINGS	IATS	\$0.00	\$0.00	\$0.00
A	10000300	3	~PRECONSTRUCTION CONFERENCE - PER PERSON, PER TRIP	IATS	\$1,250.00	\$3,750.00	\$3,750.00
A	10000310	3	~INSPECTION TRIPS - PER PERSON, PER TRIP	IATS	\$1,250.00	\$3,750.00	\$3,750.00
A	10200000	1	~METALS SURCHARGE - CHASSIS, CUSTOM	IATS	\$12,308.00	\$12,308.00	\$12,308.00
D	25010000	-1	FRAME, 10" SINGLE RAILS, SINGLE AXLE (50K PSI)	STD	\$0.00	\$0.00	\$0.00
A	25010100	1	FRAME, 10" DOUBLE RAILS, SINGLE AXLE (50K PSI)	IPOS	\$637.36	\$637.36	\$541.76
D	23014110	-1	ENGINE, CUMMINS L 9 380HP DOC-DPF-DEF-SCR OBD	STD	\$0.00	\$0.00	\$0.00
A	23014130	1	ENGINE, CUMMINS L 9 450HP DOC-DPF-DEF-SCR OBD	IPOS	\$6,847.54	\$6,847.54	\$5,820.41
D	47025000	-1	TRANSMISSION FLUID, CASTROL TRANSYND	STD	\$287.86	-\$287.86	-\$244.68
A	21030000	1	FAN CLUTCH	IPOS	\$879.76	\$879.76	\$747.80
D	21030005	-1	FAN CLUTCH (NOT PROVIDED)	STD	\$0.00	\$0.00	\$0.00
D	26010000	-1	FUEL TANK, STEEL, 65 GALLON	STD	\$0.00	\$0.00	\$0.00
A	26010010	1	FUEL TANK, STAINLESS STEEL, 65 GAL	IPOS	\$659.55	\$659.55	\$560.62
D	13010050	-1	ALTERNATOR, LEECE NEVILLE 270 AMP 4949PA	STD	\$0.00	\$0.00	\$0.00
A	13010205	1	ALTERNATOR, LEECE NEVILLE 320 AMP 4962PA	IPOS	\$520.06	\$520.06	\$442.05
D	15030410	-1	120V SHORELINE INLET, MANUAL, HUBBEL #HBL61CM64 (GRAY)	STD	\$278.73	-\$278.73	-\$236.92
A	15030430	1	120V SHORELINE INLET, KUSSMAUL SUPER 20 AUTO EJECT	IPOS	\$568.89	\$568.89	\$483.56
A	15031560	1	BATTERY CHARGER, KUSSMAUL LPC 40 W/REMOTE BAR GRAPH DISPLAY	IPOS	\$1,340.19	\$1,340.19	\$1,139.16
D	15031577	-1	BATTERY CHARGER, IOTA DLS-45	STD	\$445.81	-\$445.81	-\$378.94
D	14010505	-1	FRONT AXLE, MERITOR MFS-18-133A 18,000 LB.	STD	\$0.00	\$0.00	\$0.00
A	14010524	1	FRONT AXLE, MERITOR MFS-20-133A 20,000 LB.	IPOS	\$1,253.81	\$1,253.81	\$1,065.74
D	41010015	-1	SUSPENSION FRONT 18,000 LBS. 54" LEAF	STD	\$0.00	\$0.00	\$0.00
A	41010115	1	SUSPENSION FRONT 20,000 LBS. 54" LEAF	IPOS	\$0.00	\$0.00	\$0.00
D	43010300	-1	FRONT TIRES GOODYEAR 315/80R22.5 LRL G291 HWY 22.5 X 9 WHEELS	STD	\$0.00	\$0.00	\$0.00
A	43010308	1	FRONT TIRES MICHELIN 385/65R22.5 LRI XZY3 22.5 x 12.25 WHEELS	IPOS	\$245.86	\$245.86	\$208.98
D	42010000	-1	SUSPENSION REAR REYCO 24,000 LBS. LEAF	IPOS	\$0.00	\$0.00	\$0.00
A	42090010	1	SUSPENSION REAR FIREMAAX 24,000 LBS. AIR RIDE (PRG)	IPOS	\$2,627.99	\$2,627.99	\$2,233.79
D	44010305	-1	TIRES, REAR, GOODYEAR 12R22.5 X 8.25 LRH G661 HIGHWAY 24,000 - 27,000	STD	\$0.00	\$0.00	\$0.00
A	44010350	1	TIRES, REAR, MICHELIN 12R22.5 LRH XZE HIGHWAY 24,000 - 27,000 GVWR	IPOS	\$917.40	\$917.40	\$779.79
D	44210000	-1	WHEELS, STEEL (max 27K rear)	STD	\$0.00	\$0.00	\$0.00
A	44210100	1	WHEELS, ALUM, ACCURIDE (max 27K rear)	IPOS	\$240.90	\$240.90	\$204.77
D	44230210	-1	BALANCE STEEL WHEELS, SINGLE AXLE	IATS	\$229.50	-\$229.50	-\$195.08
D	16010009	-1	BRAKES MERITOR SCAM 6" FRONT, SCAM 7" REAR	STD	\$0.00	\$0.00	\$0.00
A	16010220	1	BRAKES MERITOR SCAM 6" FRONT, SCAM 8.625" REAR (SINGLE AXLE)	IPOS	\$405.40	\$405.40	\$344.59
A	18030110	1	AIR OUTLET CONNECTION	IATS	\$334.35	\$334.35	\$284.20
A	18033000	1	KUSSMAUL 091-28 AIR EJECT W/FEM COUPLING	IATS	\$484.58	\$484.58	\$411.89
A	14530500	1	TIRE CHAINS, ON-SPOT, 6 STRANDS	IATS	\$2,537.65	\$2,537.65	\$2,157.00
A	11023250	1	CAB TSAL4E 73" 10" RR 1/2	IPOS	\$1,631.53	\$1,631.53	\$1,386.80
D	11023291	-1	CAB TSAL4J 62" FLAT	IPOS	\$679.80	-\$679.80	-\$577.83
D	11031000	-1	CAB TILT SYSTEM, MANUAL PULL CABLE	STD	\$0.00	\$0.00	\$0.00
A	11031025	1	CAB TILT SYSTEM, AIR CONTROL VALVE	IPOS	\$273.43	\$273.43	\$232.42
D	11031400	-1	DELETE CAB SIDE WINDOWS	STD	\$0.00	\$0.00	\$0.00
A	11031401	1	CAB SIDE WINDOWS, FIXED	IPOS	\$357.83	\$357.83	\$304.16
A	11031465	1	WINDOW TINTING (LIMO TINT 8%)	IATS	\$258.83	\$258.83	\$220.01
A	11030215	1	EXTERIOR COMPTS, SIDE OF EXT CAB, TRANSVERSE 37" H	IATS	\$6,652.03	\$6,652.03	\$5,654.23
A	27030600	1	COAT HOOKS FOR GRAB HANDRAILS (4)	IATS	\$126.73	\$126.73	\$107.72
A	27030007	1	HANDRAILS, REAR CAB INTERIOR DOOR WINDOW KNURLED STS	IATS	\$381.55	\$381.55	\$324.32
A	11024475	1	LOWER GRILLE, LASER CUT W / BACKLIGHTING	IATS	\$511.73	\$511.73	\$434.97
D	20010075	-1	BUMPER, 12" POLISHED STAINLESS STEEL	STD	\$0.00	\$0.00	\$0.00
A	20010080	1	BUMPER, 18" POLISHED STAINLESS STEEL	IPOS	\$166.99	\$166.99	\$141.94
A	20040105	1	STORAGE WELL, DEEP CENTER, FULL WIDTH (18" BUMPER)	IATS	\$608.09	\$608.09	\$516.88
A	20030100	1	COVER FOR BUMPER TROUGH, TREADPLATE, 2" RAISE	IATS	\$698.56	\$698.56	\$593.78
D	12010500	-1	AIR HORNS, DUAL, GROVER #2040 RECTANGULAR	STD	\$0.00	\$0.00	\$0.00
A	12010510	1	AIR HORNS, DUAL, GROVER #1510 ROUND, 24"	IPOS	\$0.00	\$0.00	\$0.00
A	12030305	1	FOOT SWITCH, DRIVER'S SIDE	IATS	\$91.58	\$91.58	\$77.84
A	12030310	1	FOOT SWITCH, OFFICER'S SIDE	IATS	\$91.58	\$91.58	\$77.84
A	12510109	1	ELEC SIREN, WHELEN 295HFS7, REMOTE FLUSH MOUNT WITH REMOVABLE	IPOS	\$740.85	\$740.85	\$629.72
D	12510110	-1	ELEC SIREN, WHELEN 295HFS2, REMOTE FLUSH MOUNT	STD	\$720.23	-\$720.23	-\$612.20
D	12620100	-1	SIREN SPEAKER, 100W, CAST PRODUCTS, SA4201-6B-A	STD	\$514.79	-\$514.79	-\$437.57
A	12620200	1	SIREN SPEAKER, 100W, WHELEN, SA314B, BLACK FINISH	IPOS	\$849.06	\$849.06	\$721.70

A	12710100	1	SIREN, FEDERAL Q2B, GRILLE MOUNT	IATS	\$2,759.04	\$2,759.04	\$2,345.18
A	12730305	1	FOOT SWITCH, DRIVER'S SIDE, FOR MECH SIREN	IATS	\$91.58	\$91.58	\$77.84
A	12730310	1	FOOT SWITCH, OFFICER'S SIDE, FOR MECH SIREN	IATS	\$91.58	\$91.58	\$77.84
A	32520520	1	HEADLIGHTS, LED, FIRETECH FT-4X6, DUAL STS HOUSINGS	IPOS	\$4,098.20	\$4,098.20	\$3,483.47
D	32520650	-1	HEADLIGHTS, HALOGEN, SINGLE STS HOUSING	IPOS	\$1,146.66	-\$1,146.66	-\$974.66
A	32530500	1	ALTERNATING FLASHER FOR HEADLIGHT	IATS	\$250.76	\$250.76	\$213.15
A	48010300	1	FRONT TURN SIGNALS, WHELEN 400 SERIES LED (4)	IPOS	\$453.49	\$453.49	\$385.47
D	48090000	-1	FRONT TURN SIGNALS, TRUCK LITE, HALOGEN (2)	STD	\$0.00	\$0.00	\$0.00
A	31010285	1	INTERIOR, MULTISPEC BLACK SPECKLE PAINT W/GRAY-BLACK DURAWEAR	STD	\$0.00	\$0.00	\$0.00
D	31010287	-1	INTERIOR, MULTISPEC GRAY SPECKLE PAINT W/GRAY-BLACK DURAWEAR	IPOS	\$0.00	\$0.00	\$0.00
A	22510530	1	ENGINE ENCLOSURE COVERING, SCORPION BLACK URETHANE BLEND	STD	\$0.00	\$0.00	\$0.00
D	22510532	-1	ENGINE ENCLOSURE COVERING, SCORPION BLACK URETHANE BLEND (G)	STD	-\$107.43	\$107.43	\$91.32
D	11031670	-1	NO STORAGE ON ENGINE ENCLOSURE	STD	\$0.00	\$0.00	\$0.00
A	11031680	1	CENTER CONSOLE W/MAP BOOK STORAGE, TOP OF ENGINE ENCLOSURE	IPOS	\$555.29	\$555.29	\$472.00
D	22610000	-1	ENGINE HOOD LIGHT, HALOGEN (1)	STD	\$0.00	\$0.00	\$0.00
A	22610050	1	ENGINE HOOD LIGHT, LED (1)	IPOS	\$88.38	\$88.38	\$75.12
A	29810100	1	CHASSIS ELECTRICAL DESCRIPTION	STD	\$0.00	\$0.00	\$0.00
D	30010120	-1	INSTRUMENTATION, BEEDE GAUGES W/ CENTER & OVERHEAD CONSOLES	STD	\$791.78	-\$791.78	-\$673.01
A	30010130	1	INSTRUMENTATION, AMETEK W/ CENTER & OVERHEAD CONSOLES	STD	\$791.78	\$791.78	\$673.01
D	30010700	-1	CAB PUMP SHIFT	STD	\$0.00	\$0.00	\$0.00
A	30031776	1	12V POWER POINTS, (3)	IATS	\$250.80	\$250.80	\$213.18
A	30031802	1	12V DUAL PORT USB POWER POINTS, (2)	IATS	\$167.20	\$167.20	\$142.12
A	11040000	1	CAB ACCESSORY FUSE PANEL	STD	\$518.85	\$518.85	\$441.02
A	84541545	1	POWER & GROUND STUDS, LOWER COMMAND CONSOLE	IATS	\$302.79	\$302.79	\$257.37
D	28010740	-1	DEFROSTER, HEATER & A/C (COMPACT)	IPOS	\$6,470.65	-\$6,470.65	-\$5,500.05
A	28010750	1	DEFROSTER, HEATER & A/C-SEVERE CLIM (COMPACT)	IPOS	\$7,670.14	\$7,670.14	\$6,519.62
A	28090003	1	HEAT TO FEET	IATS	\$532.98	\$532.98	\$453.03
D	38510075	-1	DRIVER'S SEAT, BOSTROM, NAVIGATOR AIR-50RX/D AIR RIDE (DURAWEAR PLUS, LOW SEAM)	STD	\$1,696.01	-\$1,696.01	-\$1,441.61
A	38510204	1	DRIVER'S SEAT, BOSTROM SIERRA ELECTRIC ABTS (DURAWEAR PLUS, LOW	IPOS	\$1,823.21	\$1,823.21	\$1,549.73
D	39090000	-1	OFFICER'S SEAT, BOSTROM TANKER 350, ABTS SCBA (DURAWEAR)	IPOS	\$807.61	-\$807.61	-\$686.47
A	39090015	1	OFFICER'S SEAT, BOSTROM TANKER 350, ABTS SCBA (DURAWEAR PLUS, LOW	IPOS	\$838.86	\$838.86	\$713.03
A	11031828	1	EMS CABINET, FORWARD FACING, DOUBLE ON CREW SEAT RISER (RAISED	IPOS	\$3,458.35	\$3,458.35	\$2,939.60
D	39521105	-1	CREW SEAT 1, BOSTROM TANKER 350, ABTS SCBA (DURAWEAR)	STD	\$807.61	-\$807.61	-\$686.47
A	39521111	1	CREW SEAT 1, BOSTROM TANKER 350, ABTS SCBA (DURAWEAR PLUS, LOW	IPOS	\$838.86	\$838.86	\$713.03
D	39521106	-1	CREW SEAT 2, BOSTROM TANKER 350, ABTS SCBA (DURAWEAR)	STD	\$807.61	-\$807.61	-\$686.47
A	39521112	1	CREW SEAT 2, BOSTROM TANKER 350, ABTS SCBA (DURAWEAR PLUS, LOW	IPOS	\$838.86	\$838.86	\$713.03
D	39521405	-1	CREW SEAT 3, BOSTROM TANKER 300CT, ABTS SCBA FLIP UP (DURAWEAR)	STD	\$807.61	-\$807.61	-\$686.47
D	39521406	-1	CREW SEAT 4, BOSTROM TANKER 300CT, ABTS SCBA FLIP UP (DURAWEAR)	STD	\$807.61	-\$807.61	-\$686.47
A	39521412	1	CREW SEAT 5, BOSTROM TANKER 300CT, ABTS SCBA FLIP UP (DURAWEAR PLUS,	IPOS	\$838.83	\$838.83	\$713.01
A	39521413	1	CREW SEAT 6, BOSTROM TANKER 300CT, ABTS SCBA FLIP UP (DURAWEAR PLUS,	IPOS	\$838.83	\$838.83	\$713.01
D	39550100	-1	SEAT COLOR, GRAY	STD	\$0.00	\$0.00	\$0.00
A	39550200	1	SEAT COLOR, BLACK	IPOS	\$0.00	\$0.00	\$0.00
D	39710005	-1	CREW SEAT COMPT, OPEN SIDES	STD	\$0.00	\$0.00	\$0.00
A	39710015	1	CREW SEAT COMPT, FRONT DROP-DOWN DOORS (73" CAB)	IPOS	\$770.14	\$770.14	\$654.62
A	30080100	1	HD STEREO, JENSEN, AM/FM/WB	IATS	\$683.50	\$683.50	\$580.98
D	60080000	-1	PUMP, HALE QFLO-1250 SINGLE STAGE	STD	\$0.00	\$0.00	\$0.00
A	60080005	1	PUMP, WATEROUS CSU-1500 SINGLE STAGE	IPOS	\$5,061.99	\$5,061.99	\$4,302.69
D	60025000	-1	GEARBOX, HALE, G-SERIES, REAR MOUNTED	STD	\$0.00	\$0.00	\$0.00
A	60025300	1	GEARBOX, WATEROUS, REAR MOUNTED	STD	\$0.00	\$0.00	\$0.00
D	60026020	-1	MECHANICAL PUMP SEAL, HALE	IPOS	\$795.56	-\$795.56	-\$676.23
A	60026032	1	MECHANICAL PUMP SEAL, WATEROUS	IPOS	\$0.00	\$0.00	\$0.00
A	60031001	1	ZINC ANODES, WATEROUS	IATS	\$219.79	\$219.79	\$186.82
D	61090003	-1	PRESSURE GOVERNOR, CLASS 1 TPGJ1939	STD	\$0.00	\$0.00	\$0.00
A	61090009	1	PRESSURE GOVERNOR, FIRE RESEARCH, PUMP BOSS	IPOS	\$0.00	\$0.00	\$0.00
A	64090000	1	2.5" RIGHT SIDE INLET	IATS	\$1,653.93	\$1,653.93	\$1,405.84
D	71025900	-1	2.5" DISCHARGE, RIGHT	STD	\$1,414.64	-\$1,414.64	-\$1,202.44
A	71025905	1	3" DISCHARGE, RIGHT	IATS	\$1,899.44	\$1,899.44	\$1,614.52
A	71590000	1	DISCHARGE, 2.5" LEFT REAR	IATS	\$2,234.19	\$2,234.19	\$1,899.06
A	71890000	1	DISCHARGE 2.5" RIGHT REAR	STD	\$2,439.81	\$2,439.81	\$2,073.84
A	72290000	1	1.5" FRONT BUMPER DISCHARGE, 2" PLUMBING	IATS	\$3,623.30	\$3,623.30	\$3,079.81
A	72554800	1	MONITOR, AKRON 3423 APOLLO	IATS	\$4,941.43	\$4,941.43	\$4,200.22
A	72555810	1	TASK FORCE TIPS EXTEND-A-GUN	IATS	\$1,454.30	\$1,454.30	\$1,236.16
A	84090003	1	BOOSTER REEL, LOW PRESSURE, W/150' OF 1" HOSE & NOZZLE, MTD IN DUNNAGE AREA	IATS	\$6,234.61	\$6,234.61	\$5,299.42
A	61790500	12	DRAIN VALVES, INNOVATIVE CONTROLS, LIFT-UP	STD	\$0.00	\$0.00	\$0.00
D	61790510	-8	DRAIN VALVES, HALE, LIFT-UP	STD	\$0.00	\$0.00	\$0.00
A	63035100	2	TFT BALL INTAKE VALVE	IATS	\$2,005.29	\$4,010.58	\$3,408.99
D	61729110	-9	VALVE, HALE/CLASS 1, STAINLESS STEEL	STD	\$0.00	\$0.00	\$0.00

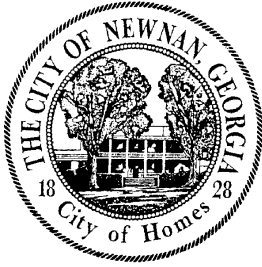
A	61729121	13	VALVE, AKRON, HEAVY DUTY	STD	\$0.00	\$0.00	\$0.00
D	61729150	-1	VALVE, HALE/CLASS 1, STS, SLOW CLOSE	IPOS	\$0.00	\$0.00	\$0.00
A	61729161	2	VALVE, AKRON, SLOW CLOSE	IPOS	\$0.00	\$0.00	\$0.00
D	61770900	-7	ACTUATOR, VALVE, PUSH/PULL, CLASS 1	STD	\$0.00	\$0.00	\$0.00
A	61770902	10	ACTUATOR, VALVE, PUSH/PULL, INNOVATIVE CONTROLS	STD	\$0.00	\$0.00	\$0.00
A	61770905	1	ACTUATOR, VALVE, SWING CONTROL	STD	\$0.00	\$0.00	\$0.00
A	61770930	1	ACTUATOR, VALVE, AIR, W/ TOGGLE SWITCH	IPOS	\$0.00	\$0.00	\$0.00
D	77090000	-7	GAUGE, DISCH, CLASS 1 2.5"	STD	\$0.00	\$0.00	\$0.00
A	77090010	10	GAUGE, DISCH, INNOVATIVE CONTROLS 2.5"	IPOS	\$0.00	\$0.00	\$0.00
A	60036010	5	THREADS, NST	STD	\$0.00	\$0.00	\$0.00
A	61840260	1	ADAPTER, 3" NST FE X 5" STORZ W/CAP & CHAIN, TFT	IATS	\$246.41	\$246.41	\$209.45
A	73540016	1	ELKHART FOAM SUPPLY SYSTEM W/FLUSH (FOR EXTERNAL EDUCTOR)	IATS	\$2,428.81	\$2,428.81	\$2,064.49
A	73540020	1	AKRON 125 GPM EXTERNAL EDUCTOR	IATS	\$800.18	\$800.18	\$680.15
A	73531425	1	FOAM TANK 30 GALLON BUILT INTO BOOSTER TANK	IATS	\$796.81	\$796.81	\$677.29
D	74929110	-1	HALE PUMP MODULE CONFIGURATION, SIDE MOUNT	STD	\$0.00	\$0.00	\$0.00
A	74929210	1	WATEROUS PUMP MODULE CONFIGURATION, SIDE MOUNT	STD	\$18,643.89	\$18,643.89	\$15,847.31
A	75040200	1	TROUGH IN RUNNING BOARD, LEFT SIDE	IATS	\$967.19	\$967.19	\$822.11
A	75040210	1	TROUGH IN RUNNING BOARD, RIGHT SIDE	IATS	\$967.19	\$967.19	\$822.11
D	75590000	-1	PUMP PANEL LIGHTING, HALOGEN (PRG)	STD	\$0.00	\$0.00	\$0.00
A	75590010	1	PUMP PANEL LIGHTS, LED (PRG)	IPOS	\$403.99	\$403.99	\$343.39
D	60090020	-1	PUMP PRIMER, HALE, T-HANDLE	STD	\$0.00	\$0.00	\$0.00
A	60090030	1	PUMP PRIMER, TRIDENT, AIR	IPOS	\$373.90	\$373.90	\$317.82
A	60028310	1	(1) PRIMER BUTTON - MAIN SUCTION	STD	\$0.00	\$0.00	\$0.00
A	76031950	1	AIR OUTLET, LEFT SIDE PUMP PANEL, WITH 25' OF HOSE	IATS	\$537.65	\$537.65	\$457.00
A	76030910	1	WATEROUS, OVERHEAT PROTECTION MANAGER	IATS	\$797.55	\$797.55	\$677.92
A	76031900	1	AIR HORN PUSH BUTTON SWITCH ON PUMP PANEL	IATS	\$167.16	\$167.16	\$142.09
D	76590000	-1	GAUGES, MASTER, CLASS 1 4.5" (PRG)	STD	\$0.00	\$0.00	\$0.00
A	76590010	1	GAUGES, MASTER, INNOVATIVE CONTROLS, 4" (PRG)	IPOS	\$0.00	\$0.00	\$0.00
D	77590000	-1	GAUGE, WATER LEVEL, CLASS 1 INTELLI-TANK	STD	\$0.00	\$0.00	\$0.00
A	77590005	1	GAUGE, WATER LEVEL, FIRE RESEARCH, TANKVISION	IPOS	\$0.00	\$0.00	\$0.00
A	77590041	1	GAUGE, FOAM LEVEL, FIRE RESEARCH TANKVISION	IATS	\$830.81	\$830.81	\$706.19
A	10250110	1	~METALS SURCHARGE - BODY, G2	IATS	\$4,745.00	\$4,745.00	\$4,745.00
A	81130200	10	ADJUSTABLE SHELF	IATS	\$250.76	\$2,507.60	\$2,131.46
A	81140100	2	FIXED VERTICAL DIVIDER	IATS	\$454.08	\$908.16	\$771.94
A	81150000	5	250# ADJUSTABLE VERTICAL SLIDE-OUT PANEL	IATS	\$1,091.20	\$5,456.00	\$4,637.60
A	81150300	3	600# SLIDE-MASTER TRAY	IATS	\$835.86	\$2,507.58	\$2,131.44
D	80290015	-1	COMPT DOORS, ROM ROLL-UP, SATIN FINISH	STD	\$0.00	\$0.00	\$0.00
A	80290026	1	COMPT DOORS, AMDOR ROLL-UP, PAINTED	IPOS	\$3,854.39	\$3,854.39	\$3,276.23
D	80225000	-1	REAR COMPT DOOR (A1) ROM ROLL-UP, SATIN FINISH	STD	\$0.00	\$0.00	\$0.00
A	80225125	1	REAR COMPT DOOR (A1) AMDOR ROLL-UP, PAINTED	IPOS	\$244.19	\$244.19	\$207.56
A	80230006	7	ROLL-UP DOOR DRIP PAN/GUARD, AMDOR (WITH DRAIN)	IATS	\$478.11	\$3,346.77	\$2,844.75
D	84530910	-1	COMPT LIGHTING, LED LIGHT STRIPS, 2 PER COMPT	STD	\$0.00	\$0.00	\$0.00
A	81330302	1	HOSE BED DIVIDERS, ADJ (2)	IATS	\$1,337.38	\$1,337.38	\$1,136.77
D	82290000	-1	DELETE FRONT BODY STEPS	STD	\$0.00	\$0.00	\$0.00
A	82290010	1	STEPS, FRONT BODY, IC FOLD DOWN W/LIGHT	IPOS	\$360.11	\$360.11	\$306.09
D	82390000	-1	STEPS, REAR BODY (8x8)	STD	\$0.00	\$0.00	\$0.00
A	82390001	1	STEPS, REAR BODY (14x11 & 14x8)	IPOS	\$320.93	\$320.93	\$272.79
A	84550110	1	LICENSE PLATE BRACKET W/ LIGHT, LED	IATS	\$62.45	\$62.45	\$53.08
D	84550199	-1	LICENSE PLATE BRACKET - NOT PROVIDED	STD	\$0.00	\$0.00	\$0.00
D	84510100	-1	ELECTRICAL DESCRIPTION	STD	\$0.00	\$0.00	\$0.00
A	84511100	1	BODY ELECTRICAL DESCRIPTION	STD	\$0.00	\$0.00	\$0.00
D	85010020	-1	TAILLIGHTS, WELDON 3884 SERIES, LED STOP/TAIL/TURN, HALOGEN REVERSE, TRIPLE HOUSING (PAIR)	STD	\$1,385.51	-\$1,385.51	-\$1,177.68
A	85010302	1	TAILLIGHTS, WHELEN 600 SERIES, LED STOP/TAIL/TURN/REVERSE, QUAD	IPOS	\$1,829.85	\$1,829.85	\$1,555.37
D	85110000	-1	ICC LIGHTS	STD	\$0.00	\$0.00	\$0.00
A	85110100	1	ICC LIGHTS, LED	IPOS	\$457.86	\$457.86	\$389.18
D	85710000	-1	UNDERCARRIAGE GROUND LIGHTS, HALOGEN	STD	\$0.00	\$0.00	\$0.00
A	85710010	1	UNDERCARRIAGE GROUND LIGHTS, LED	IPOS	\$582.36	\$582.36	\$495.01
D	86510000	-1	REAR WORK LIGHTS, (2) UNITY AG FLOOD, HALOGEN	STD	\$0.00	\$0.00	\$0.00
A	86528999	1	DELETE REAR WORK LIGHTS	IPOS	-\$168.35	-\$168.35	-\$143.10
D	86610010	-1	UPPER WARNING LIGHTS, ZONE A (FRONT), WHELEN JUSTICE 62" LED LIGHT BAR, JEONFPA, 10 MODULES	STD	\$1,792.39	-\$1,792.39	-\$1,523.53
A	86610100	1	UPPER WARNING LIGHTS, ZONE A (FRONT), WHELEN FREEDOM IV 72" LED LIGHT BAR, F4N7QLED, 8 MODULES	IPOS	\$2,707.20	\$2,707.20	\$2,301.12
D	86710100	-1	UPPER WARNING LIGHTS, ZONE C (REAR), WHELEN HALOGEN BEACONS, RB6T*P	STD	\$816.64	-\$816.64	-\$694.14
A	86710105	1	UPPER WARNING LIGHTS, ZONE C (REAR), WHELEN LED BEACONS, L31 (PAIR)	IPOS	\$1,409.68	\$1,409.68	\$1,198.23
D	87110100	-1	LOWER WARNING LIGHTS, ZONE A (FRONT), WHELEN 600 SUPER LED, 60*02F*R	STD	\$641.61	-\$641.61	-\$545.37
A	87110110	1	LOWER WARNING LIGHTS, ZONE A (FRONT), WHELEN 600 SUPER LED, 60*02F*R	IPOS	\$1,283.23	\$1,283.23	\$1,090.75



D	87811110	-1	LOWER, ZONE A - MOUNTING LOCATION (SINGLE HOUSINGS)	STD	\$0.00	\$0.00	\$0.00
A	87811130	1	LOWER, ZONE A - MOUNTING LOCATION (DUAL HOUSINGS)	IPOS	\$0.00	\$0.00	\$0.00
A	87537732	2	ADDITIONAL WARNING LIGHTS, WHELEN 600 SUPER LED, 60*02F*R (PAIR)	IATS	\$644.16	\$1,288.32	\$1,095.07
A	88390908	1	LIGHT, FR SPECTRA MAX, LED, BROW 28K LUMENS, 12V	IATS	\$2,555.09	\$2,555.09	\$2,171.83
A	88390932	2	LIGHT, FR SPECTRA, LED, TELE, 20K LUMENS, 12V	IATS	\$2,618.44	\$5,236.88	\$4,451.35
A	86537816	2	SCENE LIGHTS, WHELEN M9 LED, SURFACE MOUNT (PAIR)	IATS	\$1,318.48	\$2,636.96	\$2,241.42
A	89910000	1	CORROSION REDUCTION PROGRAM (SPECS)	IATS	\$0.00	\$0.00	\$0.00
A	90030005	1	TWO TONE CAB TO BOTTOM OF WINDSHIELD	IATS	\$1,526.19	\$1,526.19	\$1,297.26
A	90030015	1	A/C CONDENSER PAINTED ROOF COLOR	IATS	\$357.00	\$357.00	\$303.45
A	90510010	1	4" LETTERING , 22K UP TO 40	IPOS	\$1,322.34	\$1,322.34	\$1,123.99
D	90510100	-1	LETTERING, NOT PROVIDED	STD	\$0.00	\$0.00	\$0.00
A	90530040	28	ADDITIONAL 10" 22KT LETTERS (EACH)	IATS	\$73.28	\$2,051.84	\$1,744.06
D	90610000	-1	4" SCOTCHLITE STRIPE	IPOS	\$397.55	-\$397.55	-\$337.92
A	90610200	1	6" SCOTCHLITE STRIPE AROUND TRUCK	IPOS	\$500.34	\$500.34	\$425.29
A	91030700	1	ZIAMATIC SAC-44 FOLDING WHEEL CHOCKS (PAIR) MTD W/ SQCH-44H HOLDERS	IATS	\$835.86	\$835.86	\$710.48
D	99031105	-1	PICK-UP UNIT AT FACTORY	STD	\$0.00	\$0.00	\$0.00
A	99032000	1	~OPERATIONAL DEMONSTRATION - PER DAY	IATS	\$1,324.13	\$1,324.13	\$1,324.13
A	99040200	1	~DEALER PREP/INSPECTION	IATS	\$2,500.00	\$2,500.00	\$2,500.00
<b>TOTAL PUBLISHED OPTIONS:</b>						<b>\$176,487.87</b>	<b>\$154,271.30</b>

**City of Newnan**

<b>NON-PUBLISHED OPTIONS</b>					
<b>Add, Change, Delete</b>	<b>OPTION #</b>	<b>QTY</b>	<b>DESCRIPTION</b>	<b>UNIT PRICE</b>	<b>EXTENDED PRICE</b>
A	54088888	1	SPECIAL ITEM, CENTRAL AIR TANK DRAIN MANIFOLD	\$450.00	\$450.00
A	11030950	1	CAB LOCKDOWN LATCHES	\$500.00	\$500.00
A	11031386	1	CAB STEPS, LOWER & INTERMEDIATE DIAMONDPLATE	\$0.00	\$0.00
A	11031396	1	CAB STEP LIGHTING, FEDERAL SIGNAL COMPLEX LED STRIP LIGHTS	\$0.00	\$0.00
A	11024500	1	FLAMING "S" LOGO, UPPER GRILLE, REFLECTIVE RED	\$0.00	\$0.00
A	30028888	1	CAB PUMP SHIFT, AIR	\$225.79	\$225.79
A	30088888	1	SPECIAL ITEM, WHELEN ION WIRED FOR DOOR AJAR WARNING WITH ACKNOWLEDGE BUTTON	\$500.00	\$500.00
A	74928100	1	PUMP MODULE LENGTH, 44"	\$1,244.62	\$1,244.62
A	74931290	1	PUMP MODULE FRAMEWORK, NON-PAINTED	\$0.00	\$0.00
A	74931390	1	PUMP FINISH, PAINTED BY PUMP MFG	\$0.00	\$0.00
A	74931590	1	PLUMBING FINISH, NON-PAINTED	\$0.00	\$0.00
A	74931690	1	EXTERIOR DUNNAGE AREA PANEL, BRUSHED STS	\$0.00	\$0.00
A	75088888	1	SPECIAL ITEM, SPECIAL: OFFICER SIDE HOSE ROLLERS	\$400.00	\$400.00
A	75088888	1	SPECIAL ITEM, SPECIAL: DRIVER SIDE REEL FOOT PEDAL	\$250.00	\$250.00
A	75590110	1	PUMP PANEL LIGHTS OFFICER'S SIDE, LED (PRG)	\$0.00	\$0.00
A	84531220	1	COMPT LIGHTING, FEDERAL SIGNAL COMPLEX LED LIGHT STRIPS, 2 PER COMPT	\$31.06	\$31.06
A	83030355	1	REAR STEP CORNERS, STRAIGHT (PRG1)	\$0.00	\$0.00
A	91088888	1	CITY OF NEWNAN GRAPHICS PACKAGE	\$5,000.00	\$5,000.00
A	99031195	1	DEALER DELIVERY	\$1,500.00	\$1,500.00
A	PDB001108	1	DEALER SUPPLIED - EQUIPMENT MOUNTING	\$5,000.00	\$5,000.00
A	PDB001106	1	NFPA 1901 EQUIPMENT	\$29,300.00	\$29,300.00
A	PDB000219	1	2019 MODEL CHASSIS ADJUSTMENT	\$15,000.00	\$15,000.00
<b>TOTAL NON-PUBLISHED OPTIONS:</b>					<b>\$59,401.47</b>



## City of Newnan, Georgia - Mayor and Council

Date: July 16, 2019

Agenda Item: Contract Change Order- Additional Work, Paving

Prepared by: Michael Klahr, Public Works Director

**Purpose:** To consider a change order for additional work under an existing contract

**Background:** The City is currently under contract with **Piedmont Paving, Inc.**, for repairs and paving of various streets under the LMIG 2019 program. This work has begun.

The base bid for the current contract for paving 3.00 miles on 11 streets is **\$1,099,777.41**.

As construction of new homes nears completion (**Stonebridge, Summerlin, and Madison Park**), it is recommended that portions of unfinished streets be repaired and topped with a final lift of asphalt.

This will complete all streets in the various subdivisions that were not finished at the initial time of development.

The Contractor has agreed to extend unit prices for this work under our current contract.

Including traffic control, concrete repairs to curb/ gutter and repairs at the concrete driveway at the Fire Station, **Piedmont Paving, Inc.** has estimated the cost for the additional work at **\$549,847.90**.

We have been collecting "topping fees", on a per lot basis as house construction permits have been issued. These collected fees and any bonds we also are holding approximate **\$125,822.00**.

Utilizing an existing contract/ contractor will minimize mobilization costs.

**Options:** A. Approve change order and additional work with **Piedmont Paving, Inc.**, estimated at **\$549,847.90**

B. Other action as directed by Council

**Funding:** Street Fund  
SPLOST 2019

**Recommendation:** Option A

**Attachments:** Proposal, **Piedmont Paving, Inc.**



# Piedmont Paving, Inc.

1226 Highway 16 East, Newnan, Georgia 30263

Phone: 678-423-0586 Fax: 678-423-0588

## PROPOSAL AND CONTRACT

<u>Submitted To:</u>  <b>City of Newnan</b> <b>Attn.: Michael Klahr</b>	<u>Project Name:</u> <b>City of Newnan</b> <b>Resurfacing 2019-</b> <b>Additional Streets</b> <u>Project Location:</u> <b>Newnan, Georgia</b>	<u>Date:</u> <b>7/8/19</b> <u>Proposal No.:</u> <b>6725</b> <u>Estimator:</u> <b>Andrew Trammell</b>
--	--	---

Piedmont Paving, Inc., hereinafter called the Company, offers to furnish all labor, materials and equipment required for the performance of the following described work in connection with the above referenced project:

<u>ITEM</u>	<u>APPROX.</u> <u>QUANTITY</u>	<u>UNIT</u>	<u>PRICE</u>	<u>AMOUNT</u>
<b>Stone Bridge</b>				
<u>1. Traffic Control</u>	1	LS	\$14,861.00	\$14,861.00
<u>2. Tack Coat</u>	450	GL	\$4.55	\$2,047.50
<u>3. 2" Milling</u>	9,000	SY	\$3.45	\$31,050.00
<u>4. 1.5" 9.5mm w/ Lime</u>	745	Tons	\$91.70	\$68,316.50
<u>5. 2" 19mm w/ Lime</u>	990	Tons	\$89.20	\$88,308.00
<u>6. Manhole Adjustments</u>	2	EA	\$837.13	\$1,674.26
<u>7. Deep Patching</u>	310	Tons	\$121.27	\$37,593.70
<u>8. Replace Curb and Gutter</u>	32	LF	\$50.00	\$1,600.00
<b>Stone Bridge Total Amount</b>				<b>\$245,450.96</b>

<u>ITEM</u>	<u>APPROX. QUANTITY</u>		<u>UNIT PRICE</u>	<u>AMOUNT</u>
<u>Summerlin</u>				
<u>1. Traffic Control</u>	1	LS	\$14,076.00	\$14,076.00
<u>2. Tack Coat</u>	420	GL	\$4.55	\$1,911.00
<u>3. 2" Milling</u>	8,400	SY	\$3.45	\$28,980.00
<u>4. 1.5" 9.5mm w/ Lime</u>	693	Tons	\$91.70	\$63,548.10
<u>5. 2" 19mm w/ Lime</u>	924	Tons	\$89.20	\$82,420.80
<u>6. Concrete Removal</u>	250	SY	\$70.00	\$17,500.00
<u>7. Manhole Adjustments</u>	3	EA	\$837.13	\$2,511.39
<u>8. Deep Patching</u>	125	Tons	\$121.27	\$15,158.75

---

Summerlin Total Amount      \$226,106.04

<u>Newnan Lakes</u>				
<u>1. Traffic Control</u>	1	LS	\$4,868.00	\$4,868.00
<u>2. Tack Coat</u>	190	GL	\$4.55	\$864.50
<u>3. 2" Milling</u>	3,300	SY	\$3.45	\$11,385.00
<u>4. 1.5" 9.5mm w/ Lime</u>	314	Tons	\$91.70	\$28,793.80
<u>5. 2" 19mm w/ Lime</u>	363	Tons	\$89.20	\$32,379.60

---

Newnan Lakes Total Amount      \$78,290.90

**General Notes:**


1. One mobilization is included. Add \$2,200 for each additional move in.
2. Layout, testing, bonds, sawcutting, demolition, grading, sealcoating, rumble strips, utility coordination and adjustment of existing structures are excluded.
3. Traffic control is excluded.
4. Erosion control, sediment control and associated "Best Management Practices" are excluded and shall be the responsibility of others.
5. Subgrade to be compacted, pass a proof roll and be left within 0.1' of plan grade by others prior to mobilization.
6. Pricing is based upon current material costs which are subject to change. Although we do not anticipate a significant change, Piedmont Paving has no control over the cost of asphaltic concrete paving material. In the event material unit costs change (up or down) from what is included in the estimate for this work, Piedmont Paving, Inc. will provide documentation to prove the difference in cost and adjust the invoice for that difference.
7. Drainage of the pavement surface is not guaranteed where the design slope is less than one percent.
8. Pavement lift thicknesses are based on a tolerance of 1/4" for each lift of asphalt.
9. Price includes broom cleaning of the binder or existing surface before topping only. Excessive clean-up of construction debris and/or mud shall be charged at \$1.50/SY.
10. Bituminous Prime Coat is excluded unless specifically quoted above.
11. GAB under curb is not included.

Unless a lump sum price is to be paid for the foregoing work, and is clearly so stated, it is understood and agreed that the quantities referred to above are estimates and that payment shall be made at the stated unit prices on the actual field measured quantities of work performed by the Company and determined upon completion of work.

If the foregoing meets with your acceptance, kindly sign below and return this proposal. Upon its receipt it is understood that the foregoing, including the terms and conditions set forth on the following page(s), will constitute the full and complete agreement between us.

This proposal expires thirty (30) days from the date hereof, but may be accepted at any later date at the sole option of the Company.

Respectfully submitted,

  
\_\_\_\_\_  
(Signature)

Andrew Trammell- Estimator  
(Printed Name and Title)

---

CONTRACT ACCEPTANCE:

\_\_\_\_\_  
(Firm Name)

**Piedmont Paving, Inc.**

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
(Printed Name and Title)

\_\_\_\_\_  
(Printed Name and Title)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Date)

## TERMS AND CONDITIONS

Payment in full for all work performed hereunder during any month shall be made not later than the tenth day of the month next following. Final and complete payment for all work performed hereunder shall be made not later than fifteen (15) days after the completion of such work. Interest at the highest rate allowable under the laws of the jurisdiction in which the contract is executed, or one and one half percent (1.5%) per month, whichever is less, shall be charged and paid on all unpaid balances from the due date to the date we receive payment.

We shall not become obligated to perform the work called for under this Proposal and Contract until we check and approve your credit. This Proposal and Contract shall be null and void if your credit is not approved. If credit conditions become unsatisfactory at any time prior to our completion of the work hereunder, we shall be furnished adequate security upon our request.

Any deviations from the specifications or modifications of the terms of this contract and any extra or incidental work, or reductions in work, shall be set forth in writing and signed by both parties prior to the making of such change. We will be compensated for any increase in our costs caused by such change, on the basis of the increase plus ten percent (10%) profit. If a time is set for the performance of the work, and if, in our sole judgment, such change will increase the time necessary for our performance, we will be granted a reasonable extension of time.

We will provide and pay for Workmen's Compensation Insurance covering our employees and Public Liability and Property Damage Insurance protecting ourselves. We will also assume responsibility for the collection and payment of Social Security and the State Unemployment Taxes applicable to our employees. You agree to carry Public Liability and Property Damage Insurance sufficient to protect yourself against any and all claims arising from the performance of the work, including but not limited to claims arising under your agreement to indemnify and hold us harmless under the final paragraph of this Proposal and Contract.

We shall be provided with suitable access to the work area. If our work is dependent upon or must be undertaken in conjunction with the work of others, such work shall be so performed as to permit us to perform our work hereunder in a normal uninterrupted single shift operation.

Unless a time for the performance of our work is specified, we shall undertake it in the course of our normal operating schedule. We shall not be liable for any failure to undertake or complete the work for causes beyond our control, including but not limited to fire, flood, or other casualty; labor disputes or other disagreements; and accidents or other mishaps, whether affecting this work or other operations in which we are involved, directly or indirectly.

If for causes beyond our control our work is not completed within twelve (12) months after the date of your acceptance of the proposal, we may cancel this agreement at any time thereafter on ten (10) days notice. In such event (i) we shall be relieved of any further obligation with respect to the balance of this work; and (ii) we shall be entitled to receive final and complete payment for all work performed by us to the date of cancellation within fifteen (15) days thereafter.

We shall not be responsible for, and you agree to indemnify and hold us harmless from, any suit, claim, liability, cost or expense arising from or in any way related to: sidewalks, driveways or other improvements located within our work area or designated areas of access, and to adjacent property and improvements; subsurface conditions; and any and all other alleged damages to persons or property, including but not limited to personal injury and death, arising from the performance of the work, unless such alleged damages arise from our sole negligence. You further agree to indemnify and protect us and save harmless from any and all loss, damage, costs, expenses and attorney's fees suffered or incurred on account of our breach of any obligations and covenants of this contract. It is further understood that we shall not be responsible for any damage to or deterioration of any of our work, whether completed or in process, resulting from any cause or causes beyond our reasonable control, including but not limited to design, failure of subgrade or other subsurface conditions, or failure or inadequacy of any labor or materials not furnished and installed by us, whether or not such failure or inadequacy was or could have been known at the time our work was undertaken or work performed under adverse weather conditions. You agree that the proper jurisdiction and venue for adjudication concerning this contract is Coweta County, Georgia and you waive any right to jurisdiction and venue in any other place.





Mr. Cleatus Phillips  
City Manager,  
City of Newnan  
25 LaGrange Street  
Newnan, Georgia 30263

July 9, 2019

Dear Mr. Phillips,

Please accept this letter as a formal request to place the following agenda item on the Newnan City Council's July 16, 2019 Meeting Agenda:

**Permission to close streets for the following Main Street Newnan event:**

- **Tucked Away Music Festival – Saturday, October 26<sup>th</sup>, 2019**  
Permission to close Perry Street between Spring Street and E Broad and E Broad and E Washington Street from 11am-8pm. See Attachment A.

**Attachments:**

1. Proposed street closures shown in black.

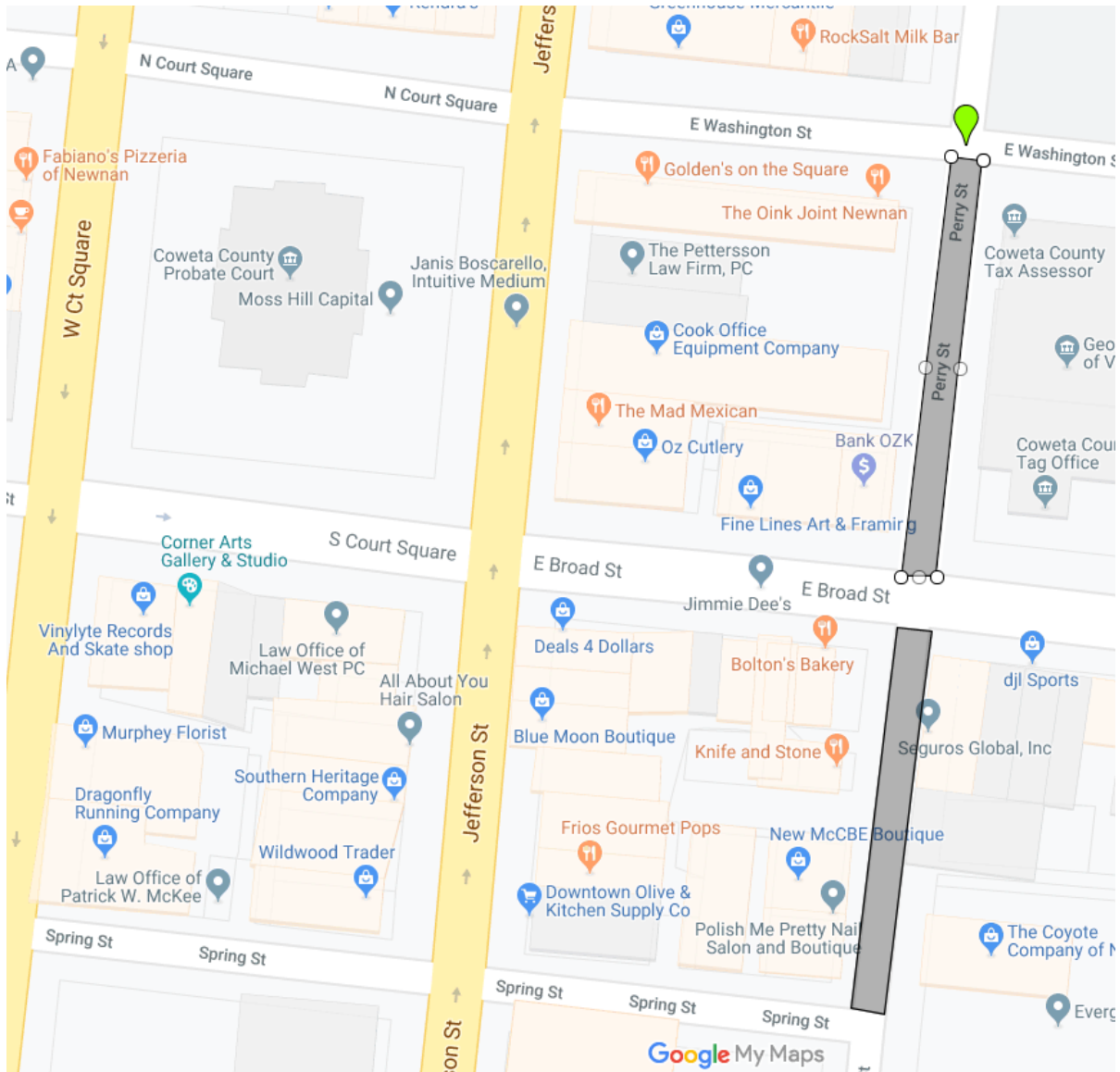
Please contact me if you require additional information.

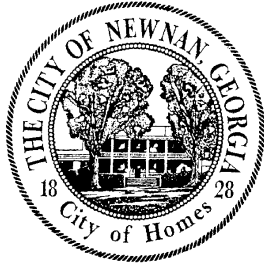
Thank you for your continued support of the Business Development Department and the Main Street Newnan program.

Best Regards,

**Abigail Strickland**  
Special Events Coordinator  
City of Newnan  
770-253-8283 (x1)  
678-943-0334 (cell)  
[Astrickland@cityofnewnan.org](mailto:Astrickland@cityofnewnan.org)

Attachment A:





---

## City of Newnan, Georgia – Mayor and City Council

Date: July 16, 2019

Agenda Item: Rezoning Request RZ2019-05, for 6.667 ± acres located on East Broad Street – known as the Caldwell Tanks Property (Tax Parcel #s N04 0010 006 and N04 0012 001)

Prepared and Presented by: Tracy Dunnavant, Planning Director

---

### **Purpose:**

Melissa Griffis, on behalf of The Residential Group, is seeking a rezoning for 6.667 ± acres located on East Broad Street (Tax Parcel #s N04 0010 006 and N04 0012 001) known as the Caldwell Tanks site. The applicant is seeking to redevelop the site for a mixture of commercial businesses, offices, apartment units and a parking deck. The 6.667 ± acres are currently zoned CBD (Central Business District) and the applicant is seeking a MXD (Mixed Use Development District) zoning designation. The MXD zoning allows greater flexibility in developing an overall plan that includes a mixture of uses. In the MXD zoning designation, the land uses and development standards are presented by the applicant through a concept plan which will become part of the zoning approval if the application is successful.

### **Background:**

The subject tracts currently consist of a vacant gravel lot that is frequently used for parking during downtown filming (1.064 acres) and an inactive industrial tank building company (5.603 acres). The applicant is seeking a MXD zoning to accommodate multiple uses including 19,100 square feet of adaptive reuse (commercial and office) for the RD Cole office and the existing warehouse space, 348 residential apartments, 11,000 square feet of leasing/amenity space for the apartments, and a parking deck with 486 spaces. The development will also include approximately 21,781 square feet of open space. The amenities will consist of a pool, fitness center, and a clubhouse. In addition to the deck, the applicant will be providing 93 surface parking spaces for an overall total of 579 spaces.

The Caldwell Tanks property, located in the Coletown National Register Historic District, is a very significant site for the downtown. It has played an important role in the development of Newnan's economy and in the establishment of adjacent neighborhoods. As such, this property has been identified in the City's Livable Centers Initiative Study (LCI Study) as a prime target for redevelopment. In fact, 3 conceptual options were produced during the LCI Study to show how the property could be redeveloped as mixed use in the future. The applicant has incorporated some of the features from one of those concepts in developing his proposed site plan.

<b>Present Zoning District</b>	CBD
<b>Proposed Zoning District</b>	MXD
<b>Current Land Use</b>	Vacant gravel lot and inactive industrial building
<b>Parcel Size</b>	6.667 ± acres (total)

Surrounding Zoning Classifications

**Vacant Lot:**

<b>North</b>	East Washington R/W; CUN
<b>East</b>	RU-I
<b>South</b>	East Broad R/W and RU-I
<b>West</b>	Connector Road and CBD

**Industrial Site:**

<b>North</b>	East Broad R/W; CBD
<b>East</b>	Railroad R/W and RU-I
<b>South</b>	Salbide R/W and ILT
<b>West</b>	CBD

Surrounding Land Use Pattern

**Vacant Land:**

<b>North</b>	East Washington R/W; Office Space
<b>East</b>	Existing residence
<b>South</b>	East Broad R/W; existing residence
<b>West</b>	Railroad R/W; City of Newnan Parking Lot and Connector Road

**Industrial Site:**

<b>North</b>	East Broad R/W; County Administration Bldg.; Train Depot
<b>East</b>	Railroad R/W and existing residences
<b>South</b>	Salbide R/W; commercial businesses; community garden; existing residence
<b>West</b>	Commercial Businesses

**Summary:**

Staff analyzed the following criteria prior to formulating a recommendation:

**Is the proposed use suitable in view of the zoning and development of adjacent and nearby property?**

The subject properties are primarily bordered by a mixture of uses including roads, railroad tracks, commercial businesses and existing residences. All of the adjacent tracts on the

west side of the railroad are either zoned commercial or light industrial. The properties on the east side of the tracks are split between commercial and residential zonings.

In an effort to maintain the character of the downtown community, the applicant is proposing architectural elements consistent with existing downtown buildings for the new construction. The existing warehouse and office buildings will remain and will be repurposed for commercial and office space. The steel framed buildings on the property, although historic, will be demolished due to their condition; however, the applicant plans to pay homage to the site's industrial heritage by incorporating features from the Caldwell Tank's buildings throughout the development. It should be noted that final elevations for the building will be required to go through the Certificate of Appropriateness application process even if the elevations are approved as part of the rezoning in order to ensure they are consistent with the architectural designs that were submitted as part of the application.

Both tracts currently have CBD zoning designations which already allow commercial and office in addition to apartments above storefronts. The CBD zoning district does not have parking requirements as the uses typically rely on the city lots or on street parking. If the applicant wanted to develop the site with all and commercial/retail and office uses on the lower levels and residential apartments above, they could do so within the current designation as long as the project meets City standards. In fact, with a Floor Area Ratio maximum of .70 in CBD, over 203,000 square feet of buildings could be built on the site. The only required Board review would be to ensure the buildings met Downtown Design Overlay Standards outside of any special exception requests.

Staff feels that a mixed use development would be a suitable use given the existing mixture of uses in the area and the fact that the apartments would serve as a better transition than commercial/office uses for the historic single-family homes. Since apartments above storefronts and retail/office businesses are already permissible within the CBD designation, the applicant is not seeking more intense uses for the property. That being said, staff would recommend limiting the commercial uses to those allowed in the CBD zoning designation if the project is approved.

**Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?**

The addition of 348 apartments and 19,100 square feet of commercial/office space will impact adjacent and nearby properties. The most significant impact will be additional traffic in the immediate area. Per the applicant's traffic study, there will be roughly 1,288 more trips generated each day with 165 more at morning peak hour and 198 more at evening peak hour. The greatest impact will be to East Broad and East Washington Streets where the applicant's traffic study anticipates 74% of the new trips will occur. Roughly 16% of the additional trips are projected to go north with the remaining 10% to the south. However, even with the additional traffic, the study indicates that the level of service will remain unchanged. It should also be mentioned that the completion of McIntosh Parkway and the possible Andrews Street extension, should help distribute some of this traffic to other areas.

In addition to the traffic, the portion of the development across the railroad tracks will house 41 residential apartment units. These units will be multi-story, so appropriate buffering will be needed to help screen the new development from the existing homes. In addition, the current zoning allows a maximum height of 45 feet in the Central Business District. The applicant has indicated that the apartments on the small tract would be three stories. Staff

would advocate making that a condition, given its location and proximity to the historic residential homes. In addition, with the parking spaces abutting the neighboring residential properties, there may be a need for some type of fencing or enhanced buffering to ensure lights don't shine in the neighbors' windows and to help minimize noise.

Another concern has been the impact of the development on existing parking. The applicant is proposing 579 total parking spaces for both tracts. This equates to roughly 1.66 spaces per unit. This breaks down to 1 space per bedroom (215 for the studio and one bedroom apartments and 133 for the two bedrooms) plus 98 additional spaces for the commercial/office uses and guest parking. It should be noted that downtown apartment developments typically attract more empty nesters and singles. In fact, the Newnan Lofts office staff indicated that 95% of their tenants fit this profile. That being said, the applicant is only providing 48 total spaces across East Broad to accommodate 41 units. This will probably result in some on-street parking since some units may have more than one car or may have guests that will want to park closer than the parking deck.

In terms of positive impact, the apartments will provide a boost to the downtown economy. Residents from the new apartments will take advantage of the shopping, dining and services in close proximity to the development. It will also clean up an existing industrial site that has been targeted in all of the City's future planning as a redevelopment opportunity. It should also be mentioned that the applicant has indicated a willingness to provide an easement to accommodate the LINC on the small tract on the north side of East Broad Street. This will tie the City's trail system into the existing sidewalk system.

**Are their substantial reasons why the property cannot or should not be used as currently zoned?**

The property is currently zoned CBD which would permit commercial/office uses as well as apartments above storefronts. The industrial use was grandfathered; however, that status is no longer valid since the plant has ceased operation for more than six months.

Staff feels the property could be used as currently zoned. The CBD zoning designation would allow numerous uses including all that the applicant is requesting except for ground floor residential. One big difference is that development in the CBD district does not have specific parking requirements, except for ground floor residential which requires one space per unit. By going with the MXD zoning designation, the City will have greater input into the project including the architecture, density, and parking.

**Will the proposed use cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?**

As a requirement for multifamily developments exceeding 150 units, the applicant must submit a Community Impact Assessment which looks at the services listed above and provides a financial analysis of the project. A copy of the full assessment has been provided with the accompanying documentation for this report. A summary of the assessment's findings are as follows:

Traffic:

The traffic expected to be generated by the proposed development is shown in the following table:

EXPECTED TRIP GENERATION									
LAND USE CODE	LAND USE	SIZE	DAILY	AM PEAK HOUR			PM PEAK HOUR		
			ENTER/EXIT	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
150	Warehouse	13.5 ksf	18	2	1	3	1	3	4
220	Low-Rise Apartment	24 Units	88	3	8	1	8	5	13
220	Low-Rise Apartment	316 Units	1157	33	112	145	112	65	177
710	Office	5.6 ksf	25	5	1	6	1	5	6
TOTAL			1288	43	122	165	121	77	198

The existing traffic volumes on the streets in the study area are very low. The volumes on East Broad Street are the most significant traffic flows observed with two-way flows of approximately 600 vehicles per hour. The two-way capacity of a two-lane road is about 2800 vehicles per hour. Since the proposed driveways will be near the railroad crossings, the length of the longest expected queues along Broad Street and Washington Street were evaluated using capacity analysis. It was determined that the queuing would not exceed one or two vehicles and would likely not extend back to the crossings. The proposed development is expected to generate about 165 trips during the morning peak hour, with 43 of these entering the development and 122 leaving the development. The development is expected to generate 198 trips during the afternoon peak hour, with 121 entering and 77 exiting the site.

It was determined that the additional traffic from this development will have very little impact on the operations of the street system in the study area. The impact of additional traffic is highest for the Thompson Street approach to E. Broad Street. The additional delay for this movement will be about 9 seconds per vehicle during the PM Peak Hour. This movement has a Level of Service (LOS) D at present which remains unchanged as a result of the project. Thompson Street is about 19 feet wide. It is recommended that when the development plans are prepared that Thompson Street be widened if feasible, at least at the intersections with E. Broad Street and E. Washington Street. It is recommended that the development plans seek ways to incorporate the Linc Multi-Use Trail system.

School:

A letter was received from Ronnie Cheek, Operations Director for the Coweta County School System, who provided information on the expected impact. Mr. Cheek indicated that many of the schools serving this District are currently at or near capacity and that serving the needs of the proposed development may present challenges. He asked that as much advance notice as possible be provided to the school system with additional information about the schedule. The assessment does point out that an additional tax revenue of \$360,012 per year would be dedicated to the school system as a result of the proposed development and that the project will be targeted towards tenants who are less likely to have school age children.

Fire:

Chief Brown has indicated that the Newnan Fire Department does have adequate man power and equipment to properly service the property.

Police:

Police Chief Meadows has amended his original report and has now indicated that the development will generate an additional 40 calls per year for each of the 35 police officer servicing calls. This is based on historical information concerning number of calls for service, response time, and number of officers. He has indicated that they would be able to service the development, but it would require a longer response time.

Newnan Utilities:

Scott Tolar has written a letter stating that Newnan Utilities has adequate capacity to provide water, sewer and electric service to the site. It should be noted that the electrical has been supplied by another provider in the past.

City of Newnan Tax Revenue:

The subject property, Parcel N04 0010 006 and N04 0012 001, currently have an assessed values of \$1,373,200 and \$120,910 respectively for a total of \$1,494,110. Tax parcel information from the qPublic website is included as Attachment F on the assessment. It is estimated that the fair market value of the property would increase to \$50 million with the proposed improvements. The assessed valuation would be 40% of the fair market value or \$20 million. The following table shows the estimated change in tax revenues for the County, City and School System.

ESTIMATED CHANGE IN ANNUAL PROPERTY TAX REVENUE				
ENTITY	MILLAGE RATE	EXISTING (\$1,494,110 Value)	IMPROVED (\$50,000,000 Value)	ADDITIONAL PROPERTY TAX
County	7.63	\$4,560.02	\$152,600.00	\$148,039.98
School	18.59	\$11,110.20	\$371,800.00	\$360,689.80
City	4	\$2,390.58	\$80,000.00	\$77,609.42
<b>TOTAL</b>	<b>30.22</b>	<b>\$18,060.80</b>	<b>\$604,400.00</b>	<b>\$586,339.20</b>

In addition to the tax revenue, the proposed project would generate impact fees as follows:

Development Impact Fee	\$1,136.07 per unit	\$386,263
Sanitary Sewer Impact Fee	\$1,800 per unit	\$612,000
Water Meter and Extension Fees	Estimated	\$100,000
<b>TOTAL IMPACT FEES</b>		<b>\$1,098,263 (Estimated)</b>

It should be noted that the developer has not asked the City for any incentives or sought the waiver of any permits or impact fees.

Engineering:



Environmental Concerns:

1. The development plan shall follow and comply fully with the Georgia Storm Water Management Manual, latest edition. All storm water management facilities shall be located on open space to the extent possible.
2. Any contaminated soils discovered shall be reclaimed and/or disposed of properly and permitted with the EPD. Reports of this nature shall be made available to the City Engineer as soon as available.

Access, Layout, and Road Concerns:

1. ADA compliant five (5) foot sidewalks shall be provided on both sides of the proposed new street within the community, and streetscape sidewalks to match existing along East Broad Street and Salbide Avenue frontages to provide the connectivity to the streetscape.
2. There should also be no on street parking between the entrance/exit and the railroad.
3. All open/ public spaces including the parking deck shall be ADA compliant with sidewalk access and connectivity to the public street system.

Trip Impact Statement:

A traffic impact study was prepared by Vern Wilburn with Maldino and Wilburn. The proposed development is expected to generate about 165 trips during the morning peak hour, with 43 of these entering the development and 122 leaving the development. The development is expected to generate 198 trips during the afternoon peak hour, with 121 entering and 77 exiting the site. The volumes on East Broad Street are the most significant traffic flows observed with two-way flows of approximately 600 vehicles per hour. The two-way capacity of a two-lane road is about 2800 vehicles per hour. The additional traffic generated will be able to be handled by the existing infrastructure. The traffic engineer noted two observations that will affect the design and layout of this development. The proposed driveway onto East Broad Street should be setback from the railroad tracks enough to allow for adequate stacking of at least two cars (refer to 2, above, Access, Layout and Road Concerns), and improvements should be considered for the intersection of Thompson Street and East Broad Street. Thompson Street is about 19 feet wide. It is recommended that when the development plans are prepared that Thompson Street be widened if feasible, at least at the intersections with East Broad Street and East Washington Street. Additionally it was noted that the development should be tied to the LINC as it is so near the LINC corridor.

**Is the proposed use compatible with the purpose and intent of the comprehensive plan?**

The Future Land Use Map shows both properties as a future commercial; however, in the Comprehensive Plan's Economic Development Goals and Policies (page 26), it specifically states "promoting mixed-use development for the Caldwell Tanks" site. Under the Housing Goals and Policies it states that the City needs to protect existing historic residential neighborhoods in downtown and the surrounding historic districts" while also "encouraging and supporting development of multifamily/lofts through commercial/adaptive

use/redevelopment” and locating them “near integrated amenities/other uses (mixing of uses).”

The City has consistently touted the need for redevelopment of the Caldwell Tanks site. In fact, the City’s LCI Study states in its Workshop Consensus Points, developed from the City’s four public workshops, that “although many future uses were suggested ranging from a sports arena to parking, the consensus seemed to be that the site be developed mixed-use and/or commercial.” Also, Under the Growth and Redevelopment Vision, the study specifies “rehabilitation and new construction for mixed-use development including housing, commercial, specialty retail/entertainment and open space” for the site. Under Future Land Use in the study, Caldwell Tanks is identified as “Mixed-Use: Predominantly Residential – Shown in purple, these are areas that include a mix of various land uses within the same contiguous parcel. The mix of uses can be included within the same building/ structure OR in individual buildings/structures within the same parcel. In the case of this category, “Predominantly Residential” denotes that the parcel would include more residential than commercial square footage within the same parcel of land.” An excerpt from the LCI study specifically showing the concepts and commentary regarding the site has been included with this report for reference purposes.

**Will the use be consistent with the purpose and intent of the proposed zoning district?**

The proposed use would be consistent with the purpose and intent of the proposed zoning as a mixture of commercial, office, and residential uses are allowable in the MXD zoning designation.

**Is the proposed use supported by new or changing conditions not anticipated by the comprehensive plan?**

As specified above, the Future Land Use map shows this property as future commercial and the plan itself identifies it as a mixed use development site. There are no new or changing conditions that would impact the designations shown in the comprehensive plan.

**Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?**

This project requires a delicate balance to be achieved between redeveloping the site and protecting the character of the downtown and the Coletown National Register District and its historic single-family homes. As currently zoned, there are numerous commercial and office uses that can be developed on the two tracts by simply meeting the existing requirements of the CBD district. While the mixed use development will increase traffic, developing the site completely with commercial and office uses will generate a much greater number of trips than the apartments. In addition, the MXD zoning designation will allow the City to have more input into the project’s design and ensure that what is promised by the applicant will be the final product. Therefore, Staff does believe that the proposed use does reflect a reasonable balance.

**Options:**

- A. Approve the rezoning request as submitted
- B. Approve the rezoning request, with conditions
- C. Deny the rezoning request

**Planning Commission Recommendation:**

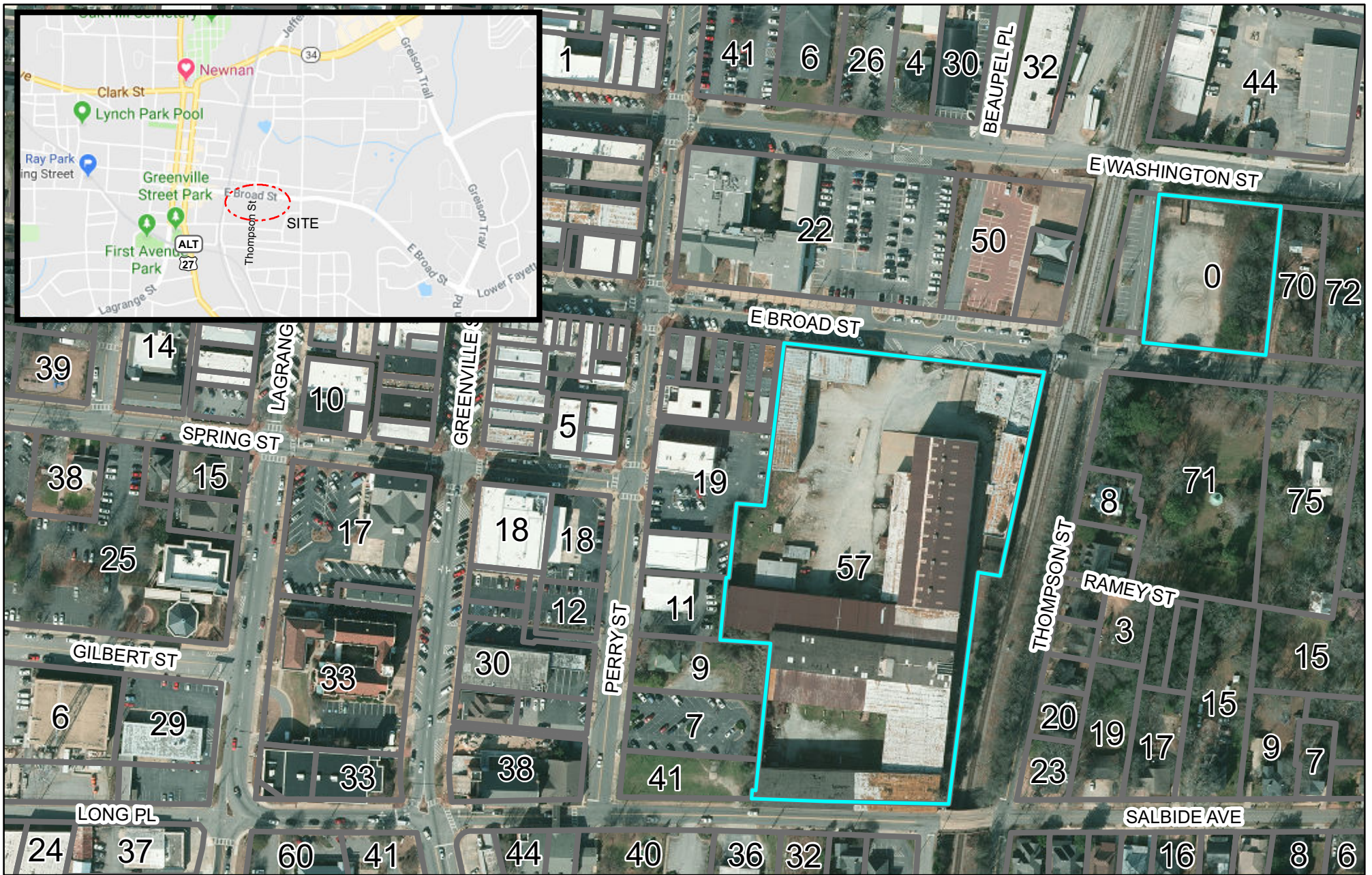
At their June 11, 2019 meeting, the Planning Commission held a public hearing on the aforementioned requests and voted unanimously to recommend Option “C”, deny the rezoning request as submitted.

However, if Council should choose to approve the rezoning request, Staff would recommend conditioning the approval as follows:

1. The project will be subject to a developer’s agreement being executed by the applicant to ensure consistency with the concept plan, density, project data and architectural details as provided as part of the application.
2. The development will utilize architectural guidelines and covenants to ensure a quality product.
3. The development will be limited to a maximum of 348 apartment units and a minimum of 579 total parking spaces.
  - a. The 1.064 acre tract north of East Broad Street shall be limited to 41 apartment units and 48 parking spaces.
  - b. The 5.603 acre tract south of East Broad Street shall be limited to 307 apartment units and 531 parking spaces.
4. The non-residential uses on the property will be limited to those uses allowed in the Central Business District.
5. The apartments proposed on the 1.064 acre tract north of East Broad Street shall be limited to three stories in height.
6. The applicant will work with the City’s Landscape Architect to ensure adequate buffering is provided in the 10 foot landscape strip between the 1 acre tract on the north side of East Broad Street and the adjacent residential property.

**Attachments:**           Application for Rezoning  
                                  Development Summary Report  
                                  Location Map  
                                  Community Impact Assessment  
                                  LCI Study Excerpt  
                                  Public Comments


**Previous Discussions with Council:** May 7, 2019






**CITY OF NEWNAN** | Project Location



CITY OF NEWNAN  
 PLANNING DEPT.  
 25 LAGRANGE STREET  
 NEWNAN, GEORGIA 30263  
[www.ci.newnan.ga.us](http://www.ci.newnan.ga.us)

  
 NORTH  
 1 inch = 200 feet

**LEGEND**

-  Project Location
-  PARCELS
-  CITY LIMITS

**ADDRESS**

E BROAD ST @ THOMPSON ST  
 NEWNAN GA. 30263

**ROSENZWEIG, JONES, HORNE & GRIFFIS, P.C.**  
**ATTORNEYS AT LAW**  
**32 South Court Square**  
**PO Box 220**  
**NEWNAN, GEORGIA 30264**  
**www.newnanlaw.com**

MELISSA D. GRIFFIS (GA, AL)

TELEPHONE (770) 253-3282  
FAX (770) 251-7262  
E-mail:melissa@newnanlaw.com

April 25, 2019

**HAND DELIVERY**

Ms. Tracy Dunnivant, Planning Director  
The City of Newnan  
25 LaGrange Street  
Newnan, Georgia 30263

RE: Application of The Residential Group to Amend the Zoning Ordinance and  
Variance Request  
Approximately 6.667± Acres located at 57 East Broad Street and a lot on  
East Broad Street, Newnan, Georgia

Dear Ms. Dunnivant:

The Residential Group, applicant in the above-described property ("the Property") in the City of Newnan, Georgia, hereby makes this application to amend the zoning ordinance, to allow rezoning of the approximate 6.667 +/- acres to be rezoned from CBD to MXD.

The Village in Newnan is a 6.7 acre mixed-use development located on the original R.D. Cole Manufacturing site, now referred to as the Caldwell Tanks Site and a 1 acres parcel bounded by East Broad Street, East Washington Street and the Atlanta and West Point Railroad right of way.

The 2014 Newnan Livable Centers Initiative Final Report established long term goals for preservation and redevelopment of the property "as a mix of land uses that would capture a large portion of the area's longer term retail and residential demands. A mixed use development program would benefit the Downtown area by providing new goods and services for existing residents and workers, adding more 24 hour life and spending power, creating more of a critical mass of new residents in close proximity".

The development proposal will renovate and reuse the late 1800's office building and the attached 3 story warehouse, as well as the construction of 340 luxury apartment homes organized around a new street between E Broad Street and Salbide Avenue, and a parking deck. The plan proposes commercial frontage on East Broad Street, which accommodate the community leasing and amenity functions, to close the gap between existing businesses to the east of the property and the Caldwell Office building.

The proposed community is within a 5 minute walk to the Court House Square, and will make a significant contribution to the goals of the LCI by adding more spending power

and creating a more critical mass of new residents in close proximity to the vibrant business district.

Building typology consists of the adaptive reuse of historic structures, three and four story residential buildings, commercial frontage on East Broad Street with residential above. Parking is achieved in a multi-level deck, surface and individual garages.

As noted on the "Application to Amend Zoning Text" form enclosed herewith, the Property is the best location for an MXD zoning as it is a prime location for CBD uses of commercial, office and/or institutional along with a transition for a multi-family component. The rezoning will allow for re-development of this current property that has been vacant with buildings and parking for many years. The MXD zoning will be beneficial to the business owners and residents not only at The Property, but also the surrounding area.

As with any re-development of a site for mixed use, there are certain items that need to be addressed that differ from a brand new construction. The first item is the common recreation area requirement. Due to the site limitations for this re-development, the inside amenities, the park and the dedication of the easement for the LINC, the plan is created with its common recreation offerings. Next, the plans allow for the inclusion of the Property for the loft-style exemption regarding impervious surface.

The interior streets shall be with an 11 foot drive as traffic calming is throughout the development and again this is a re-development of property. The parking requirements will be satisfied with a parking deck including 408 spaces allowed with a percentage of 50% one-bedroom apartments, 12% studio apartments, and 38% 2-bedroom apartments. There will be much ground floor residential parking and on-street parking allowing for the flexibility of the CBD district component in this MXD rezoning.

A challenge exists in regards to the street trees when trying to create a re-development of this Property with 30 ft. (OC) allowed throughout the development. The re-development of this Property allows for 7.5 – 15% of open space through the site.

The re-development for the MXD district includes a proffered condition for an easement to the LINC adjacent to this property. Therefore, the exception for the reduction by 50% of the open space requirement should apply.

Ms. Tracy Dunnavant, Planning Director  
April 25, 2019  
Page 3

---

The re-development of the Property also prohibits the dedicated area for loading other than the hatched area as shown on the plan. The Property as it exists is largely devoid of trees and the Applicant will provide a landscape plan to address the reuse of the property along with the MXD components for landscaping throughout the development. Further, the landscape plan will show a 5 foot minimum between adjacent parking rows instead of the 8 foot plan due to the donation of the LINC easement reducing lot width.

All buildings will include sprinkler systems per fire code safety standards.

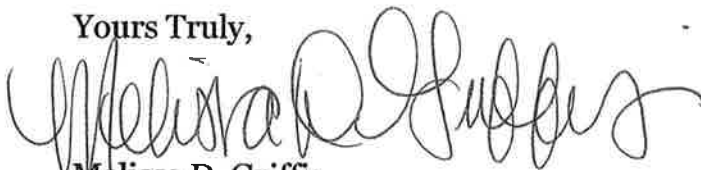
There are many proffered conditions in the attached zoning application packet. Please also see all attached plans, profiles, elevations, pictures and other demonstrative materials submitted or also to be considered as proffered conditions. The proposed amendment will facilitate the smart growth and development that is expected in the City of Newnan.

For the reasons stated above, Residential Group believes that this application is not only consistent with, but advances the intent of the City of Newnan. Zoning Ordinance.

The Residential Group has, at attached Tabs (1) through (11) included all materials required per the Application Form and applicable Ordinance provision. As always, should you have any questions about the material submitted, or should you require additional information, please do not hesitate to contact me. The Residential Group, as Applicant and myself as counsel for The Residential Group, look forward to working with you and your staff as you review and analyze the enclosed Application.

I look forward to receiving the Planner's Recommendation in the near future.

Yours Truly,



Melissa D. Griffis

For The Residential Group

MDG/kr  
Enclosure(s)

# **TAB 1**

## **Application to Amend the Zoning Map**





**CITY OF NEWNAN, GEORGIA**  
**Planning & Zoning Department**

25 LaGrange Street  
Newnan, Georgia 30263  
Office (770) 254-2354  
Fax (770) 254-2361

**APPLICATION TO AMEND ZONING MAP**

---

---

**Note to Applicant:** Please be sure to complete all entries on the application form. If you are uncertain to the applicability of an item, contact The Planning & Zoning Department at 770-254-2354. Incomplete applications or applications submitted after the deadline *will not be accepted.*

Name of Applicant The Residential Group

Mailing Address 7100 Peachtree Dunwoody Road, NE, Atlanta, GA 30328

Telephone (678) 244-1544 ext. 106 Email: kalexander@trg-atl.com

Property Owner (Use back if multiple names) Broad Street Forum, Inc.

Mailing Address 3500 Highway 34 East, Suite 14, Sharpsburg, GA 30277

Telephone (502) 548-0272

Address/Location of Property 57 East Broad Street, Newnan, Ga 30263 and lot

Tax Parcel No.: N04 0010 006 and N04 0012 001 Land Lot 25

District/Section 5<sup>th</sup> Size of Property (Square Feet or Acres) 6.667 acres

Present Zoning Classification: CBD Proposed Zoning Classification: MXD

Present Land Use: Vacant with former manufacturing buildings

---

---

To the best of your ability, please answer the following questions regarding the application:

Explain how conditions have changed that renders the zoning map designation invalid and no longer applicable The Subject Property has been vacant for numerous years as the manufacturing company went out of business. Redevelopment of this area is needed which requires a different zoning classification.

If the proposed zoning map change is an extension of an existing adjacent zoning district, provide an explanation why the proposed extension should be made \_\_\_\_\_

If the requested change is not designed to extend an adjacent zoning district, explain why this property should be placed in a different zoning district than all adjoining property. In other words, how does this property differ from adjoining property and why should it be subject to different restrictions? The Subject Property should be included in the newly created MXD zoning district to allow for redevelopment of this property. Additionally, a need exists for a residential component and any businesses or uses allowed in the CBD.

Please attach all the following items to the completed application:

1. A letter of intent giving the details of the proposed use of the property which should include, at a minimum, the following information:
  - What the property is to be used for, if known.
  - The size of the parcel or tract.
  - The zoning classification requested and the existing classification at the filing of this application.
  - The number of units proposed.
  - For non-residential projects, provide the density of development in terms of floor area ratio (FAR).
  - Any proposed buffers and modification to existing buffers.
  - Availability of water and sewer facilities including existing distance to property.
2. Name and mailing addresses of all owners of all property within 250 feet of the subject property (available from the County Tax Assessor records). This is encouraged to be submitted in a mail merge Microsoft Word data file format.
3. Legal description of property. This description must establish a point of beginning; and from the point of beginning, give each dimension bounding the property that the boundary follows around the property returning to the point of beginning. If there are multiple property owners, all properties must be combined into one legal description. If the properties are not contiguous, a separate application and legal description must be submitted for each property. For requests for multiple zoning districts, a separate application and legal description must be submitted for each district requested. A copy of the deed may substitute for a separate description.
4. A certified plat (stamped and dated) drawn to scale by a registered engineer, architect, land planner, land surveyor, or landscape architect that shall include the following information:
  - ✓ Boundary survey showing property lines with lengths and bearings
  - ✓ Adjoining streets, existing and proposed, showing right-of-way
  - ✓ Locations of existing buildings dimensioned and to scale, paved areas, dedicated parking spaces, and other property improvements
  - ✓ North arrow and scale
  - ✓ Adjacent land ownership, zoning and current land use
  - ✓ Total and net acreage of property
  - ✓ Proposed building locations
  - ✓ Existing and proposed driveway(s)
  - ✓ Lakes, ponds, streams, and other watercourses
  - ✓ Floodplain, wetlands, and slopes equal to or greater than 20 percent
  - ✓ Cemeteries, burial grounds, and other historic or culturally significant features
  - ✓ Required and/or proposed setbacks and buffers
5. Submit one (1) copy in an 18" x 24" format and one copy in a pdf digital file format.
6. Completed Proffered Conditions form.
7. Completed Disclosure of Campaign Contributions and Gifts form.
8. If the applicant and the property owner are not the same, complete the Property Owner's Authorization form and/or the Authorization of Attorney form.
9. For multiple owners, a Property Owner's Authorization form shall be submitted for each owner.
10. A community impact study must be submitted if the development meets any of the following criteria:
  - Office proposals in excess of 200,000 gross square feet
  - Commercial proposals in excess of 250,000 gross square feet
  - Industrial proposals which would employ over 500 persons
  - Multi-Family proposals in excess of 150 units

11. A Development of Regional Impact form shall be completed and submitted to the City if the request meets any of the criteria in §10-10 (b)(2)(h) on page 10-7 of the Newnan Zoning Ordinance.

12. Fees for Amending the Zoning Map shall be made payable to the **City of Newnan** and are listed below:

- Single-Family Application ..... \$500.00/Plus \$15.00 Per Acre
- Multi-Family Application ..... \$500.00/Plus \$25.00 Per Acre
- Office/Institutional Application ..... \$500.00/Plus \$15.00 Per Acre
- Commercial Application ..... \$500.00/Plus \$25.00 Per Acre
- Industrial Application ..... \$500.00/Plus \$15.00 Per Acre
- MXD ..... \$500.00/Plus \$25.00 Per Acre  
For multi-family and \$15.00 Per Acre for CBD

**PLEASE NOTE: THIS APPLICATION MUST BE FILED BY THE 1st OF THE MONTH TO BE CONSIDERED FOR THE PLANNING COMMISSION MEETING OF THE FOLLOWING MONTH.**

I (We) hereby authorize the staff of the City of Newnan to inspect the premises of the above-described property. I (We) do hereby certify the information provided herein is both complete and accurate to the best of my (our) knowledge, and I (we) understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application.

Sworn to and subscribed before me this

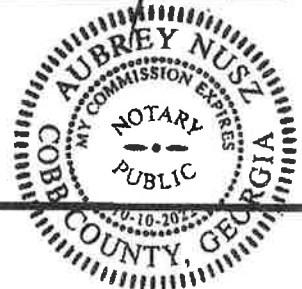
24 day of April, 20 19

Signature of Applicant

Aubrey Nusz

Notary Public

(Affix Raised Seal Here)



**FOR OFFICIAL USE ONLY**

DATE OF PRE-APPLICATION CONFERENCE \_\_\_\_\_

RECEIVED BY \_\_\_\_\_

DATE OF FILING \_\_\_\_\_

FILING FEE RECEIVED \_\_\_\_\_

DATE OF NOTICE TO NEWSPAPER \_\_\_\_\_

DATE OF PUBLIC HEARING \_\_\_\_\_

PLANNING COMMISSION RECOMMENDATION (DATE) \_\_\_\_\_

DATE OF TRANSMITTAL TO CITY COUNCIL \_\_\_\_\_

CITY COUNCIL DECISION (DATE) \_\_\_\_\_

**TAB 2**

**Names and Addresses of All Property  
Owners Within 250' Feet**

**PROPERTY OWNERS WITHIN 250' OF TRACT ONE**

3D PROPERTY GROUP LLC  
1917 OLD ORCHARD RD  
VESTAVIA HILLS AL 35216

75 JACKSON LLC  
P O BOX 1058  
NEWNAN GA 30264

ALDRICH GROUP LLC  
2 BEACON CREST  
NEWNAN GA 30265

ALLEN JEFFREY DEAN  
76 EAST BROAD ST  
NEWNAN GA 30263

ARINCO CORP  
P O BOX 71158  
NEWNAN GA 302711158

B & P LEE PROPERTIES INC  
2 LAKEVIEW DR  
NEWNAN GA 30263

BAILEY JOSEPHINE  
16 SALBIDE AVE  
NEWNAN GA 30263

BALL RONALD  
263 KEYS FERRY RD  
JACKSON GA 30233

BALL RONALD  
263 KEYS FERRY RD  
JACKSON GA 30233

BARBER A MICHAEL & JULIA G BARBER  
19 BROOKSIDE DR  
NEWNAN GA 30263

BARRON FAMILY HOLDINGS LLC  
14 JACKSON ST  
NEWNAN GA 30263

BARRON FAMILY HOLDINGS LLC  
14 JACKSON ST  
NEWNAN GA 30263

BARRON FAMILY HOLDINGS LLC  
14 JACKSON ST  
NEWNAN GA 30263

BEAVERS BROTHERS LLC  
32 E WASHINGTON ST  
NEWNAN GA 30263

BEERS ELIZABETH ALLEN (LIFE EST)  
15 ROBINSON ST  
NEWNAN GA 30263

BERNSTEIN GARY  
P O BOX 1154  
NEWNAN GA 30264

BOYD R DAVID & ROSALYN MCKOY  
10 ALPINE DR  
NEWNAN GA 30263

BROAD STREET FORUM INC  
4000 TOWER RD  
LOUISVILLE KY 40219

BROAD STREET FORUM INC  
STE 141 3500 HWY 34 E  
SHARPSBURG GA 30277

BRODERICK JOHN W & MAUREE  
70 EAST BRD ST  
NEWNAN GA 30263

CAAP GROUP LLC  
68 BETHLEHEM CHURCH RD  
MORELAND GA 30259

CAMERON PATRICIA  
0032 SAVANNAH ST  
NEWNAN GA 30263

CATFISH HOLLOW INC  
115 REGAL OAK CT  
TYRONE GA 30290

CHAPMAN WILLIAM KEITH & LYNN I CHA  
71 E BROAD ST  
NEWNAN GA 30263

CITY OF NEWNAN GEORGIA  
25 LAGRANGE ST  
NEWNAN GA 30263

COMMERCIAL HOUSE LLC  
197 JACKSON ST  
NEWNAN GA 30263

COOPER SHIRLEY P, DBA COOK OFFICE  
P O BOX 1196  
NEWNAN GA 30264

COOSAWATT INVESTORS LLC  
P O BOX 3468  
PEACHTREE CITY GA 30269

COWETA COUNTY

DAVIDSON TERRI  
4765 OAK GROVE CT  
WINSTON GA 30187

DEAN J W MRS, C/O MRS EDGAR SMITH  
90 THOMAS CROSSING DR  
NEWNAN GA 30265

DOWNTOWN PRESERVATION PROP  
STE 3300 1 1755 HWY 34 E  
NEWNAN GA 30265

E R JONES PROPERTIES LLC  
12 ALPINE DR  
NEWNAN GA 30263

DREAM PROPERTIES OF WEST GA  
1755 MONROE DRIVE NE  
ATLANTA GA 30324

E4 HOLDINGS LLC  
PO BOX 1197  
NEWNAN GA 30264

EAST BROAD ST INVESTMENTS LLC  
C/O MICHAEL SUMNER MANAGER  
14 EAST BROAD ST  
NEWNAN GA 30263

ELLIOTT W KERRY DR  
PO BOX 224  
NEWNAN GA 30264

FAISON MATTIE  
40 THOMPSON ST  
NEWNAN GA 30263

FANNING CYNTHIA DIANE  
44 PERRY ST  
NEWNAN GA 30263

FIRST METHODIST CHURCH

FIRST NATIONAL INVESTMENTS LLC  
P O BOX 2567  
NEWNAN GA 30264

FIRST UNION NATL BK OF GA, C/O  
PO BOX 2609  
CARLSBAD CA 92018

FIRST UNITED METHODIST CHURCH  
OF NEWNAN  
33 GREEVILLE ST  
NEWNAN GA 30263

FLETCHER DAVID MARK  
8741 CAMPBELLTON REDWINE RD  
PALMETTO GA 30268

FLETCHER DAVID MARK  
8741 CAMPBELLTON REDWINE RD  
PALMETTO GA 30268

FLETCHER DAVID MARK  
8741 CAMPBELLTON REDWINE RD  
PALMETTO GA 30268

FLETCHER MARK & JOY FLETCHER  
8741 CAMPBELLTON REDWINE RD  
PALMETTO GA 30268

GERRIT PARK LLC  
APT 1 1 895 MAIN ST  
HACKENSACK NJ 07601

GOODSON JENNIFER & BRIAN  
78 E BROAD ST  
NEWNAN GA 30263

GPH PROPERTIES LLC  
PO BOX 71912  
NEWNAN GA 30271

GRIFFITH, DAVID R  
8 E BROAD ST  
NEWNAN GA 30263

GRISSOM EMILY  
3867 PACES LOOKOUT DR  
ATLANTA GA 30339

GUY REBECCA  
79 SECOND AVE  
NEWNAN GA 30263

HANCOCK CANDACE C  
104 WOODBINE CIR  
NEWNAN GA 30263

HARRIS ELIZABETH N  
9 SALBIDE AVE  
NEWNAN GA 30263  
HEADLEY WILLIAM V  
PO BOX 719 1 44 E WASHINGTON ST  
NEWNAN GA 30264

HARRISON DANA M  
12 SALBIDE AVE  
NEWNAN GA 30263  
HORNE SCOTT & MARSHA HORNE  
8 DOGWOOD RD  
NEWNAN GA 30263

HAUGEN WALTER SANDERS  
5 BUCHANAN ST  
NEWNAN GA 30263  
HURLER PETER F  
22 WOODLANE DR  
NEWNAN GA 30263

HURLER PETER F  
22 WOODLANE DR  
NEWNAN GA 30263

J&L ENTERPRISES LLC  
601 HANNAH RD  
NEWNAN GA 30263

JOHNSON AMY KATRICE  
34 B PERRY ST  
NEWNAN GA 30263

JOHNSON JACQUELINE O & EDWARD  
455 FAIRWAY CT  
NEWNAN GA 30265

MARCUS & LEROY  
P O BOX 764  
NEWNAN GA 30264

JONES LAUREN BURKE & WILLIAM M  
117 GREENVILLE ST  
NEWNAN GA 30263

KNOX HOLDINGS LLC  
75 GREENVILLE ST  
NEWNAN GA 30263

LANDRUM LAVANN P & CHARLES, LAUR LEVINE BUILDING LLC  
0075 EAST BRD ST  
NEWNAN GA 30263

14 JACKSON ST  
NEWNAN GA 30263

LINTON ADVISORS LLC  
49 VANDERBILT POINTE LN  
NEWNAN GA 30265

LITTLE GARY  
13 E BRD ST  
NEWNAN GA 30263

LONGSTRAW INVESTMENTS LLC  
STE D 145 SUTHERLAND DR  
NEWNAN GA 30263

LOVEJOY MEMORIAL UNITED  
  
NEWNAN GA 30263

MADRAS ENTERPRISES LLC  
79 EAST BROAD ST  
NEWNAN GA 30263

MANGUM CLYDE K & HARRIET S  
20 SALBIDE AVE

MANSOUR ELLIS A & JOHN CHARLES  
& SARA MELINDA MANSOUR/7 MISSION  
NEWNAN GA 30263

MARCHMAN JORDAN TODD & MAC  
17 SALBIDE AVE  
NEWNAN GA 30263

MARTIN CHRISTOPHER T  
18 GINGER GOLD DR  
NEWNAN GA 30265

MATTHEWS MARK WILLIAM & SCOTT AL  
166-B JEFFERSON ST  
NEWNAN GA 30263

ROBERT A & LUCILLE MATTI  
1464 JD WALTON RD  
NEWNAN GA 30263

MC CALLA JAMES R JR  
P O BOX 1705  
NEWNAN GA 30264

MC ELROY DARRELL LYNN  
139 BETHLEHEM CHURCH RD  
MORELAND GA 30259

MC INTOSH LODGE #735  
C/O CLAUDE G COOPER

MC KOY HERBERT A JR & ROS, MC KOY  
3503 PACES FERRY CIR  
SMYRNA GA 30080

MECCA DEVELOPERS INC  
27 EAST BROAD ST  
NEWNAN GA 30263

MOST PROPERTIES LLC  
44 EAST WASHINGTON ST  
NEWNAN GA 30263

MOTEN DANIEL C ESTATE & DERETHER  
111 SAVANNAH ST  
NEWNAN GA 30263

MOTEN DERETHER  
111 SAVANNAH ST  
NEWNAN GA 30263

MR MADISON STREET LLC  
SUITE 6-308/11000 PEACHTREE  
IND BLVD  
SUWANEE GA 30024

NBA SPECIAL PROPERTIES LLC  
P O BOX 632  
NEWNAN GA 30264

NEELY BONNIE  
19 REDLEVEL WALK  
NEWNAN GA 30265

NEWNAN COWETA HISTORICAL, SOCIET  
PO BOX 1001  
NEWNAN GA 30264

NEWNAN PRESBYTERIAN CHURCH  
P O DRAWER 1038  
NEWNAN GA 30264

NEWNAN PRESBYTERIAN CHURCH  
PO BOX 1107  
NEWNAN GA 30264

OLMSTEAD JIMMIE  
15 EAST BROAD ST  
NEWNAN GA 30263

OZMORE J WILLIAM  
1 DOGWOOD RD  
NEWNAN GA 30263

OZMORE J WILLIAM  
1 DOGWOOD RD  
NEWNAN GA 30263

OZMORE J WILLIAM  
1 DOGWOOD RD  
NEWNAN GA 30263

PARKS MARTHA ANN  
7 DOGWOOD RD  
NEWNAN GA 30263

PERRY STREET PARTNERS LLC 15 PERRY ST NEWNAN GA 30263	PREFCO FIVE LIMITED PARTNERSHIP P O BOX 2609 CARLSBAD CA 92018	PROPCO JEFFERSON LLC 4514 CHAMBLEE DUNWOODY RD ATLANTA GA 30338
RANSBY ZORA W ESTATE, C/O SHAHLA 24 SALBIDE AVE NEWNAN GA 30263	RAYBURN JOHN B 3 E BROAD ST NEWNAN GA 30263	RAYBURN JOHN B 3E BROAD ST NEWNAN GA 30263
RENDER MATELINE 8 THOMPSON ST NEWNAN GA 30263	RUSH TIMOTHY SCOTT 31 TANGLEWOOD RD NEWNAN GA 30263	RYMATT PROPERTIES LLC 47 EDGEWOOD VISTA NEWNAN GA 30265
SCOTT HENRY EARL 1910 BOHANNON RD GRANTVILLE GA 30220	SCOTT HENRY EARL 1910 BOHANNON RD GRANTVILLE GA 30220	SCOTT HENRY EARL 1910 BOHANNON RD GRANTVILLE GA 30220
SEARS C BRADFORD JR & WALTER S H, PO BOX 1177 NEWNAN GA 30264	SEMIPRO INVESTOR LLC 14 JACKSON ST NEWNAN GA 30263	SEWELL GRACE DAVIS 0017 WINFIELD DR NEWNAN GA 30263
SEWELL JOHN W JR 0034 SAVANNAH ST NEWNAN GA 30263	SHEPARD J NEAL JR 94 BOY SCOUT RD NEWNAN GA 30263	SMITH CHRIS M & COURTNEY N SMITH 72 EAST BROAD ST NEWNAN GA 30263
SMITH DARRELL & ROD RICK COOK &, 36 SAVANNAH ST NEWNAN GA 30263	STATHAM THOMAS 3149 S HWY 27 CARROLLTON GA 30117	STEWARD MORRIS P & GEORGE MELVLL 101 BILL HART RD NEWNAN GA 30265
STOTTLAR CALVIN R 115 HEARTHSTONE DR NEWNAN GA 30263	THOMPSON & WALLIN LLC 5 EAST BROAD ST NEWNAN GA 30263	U S OF AMERICA POST OFFIC
VILLEGAS JASON C 983 WILEY BRIDGE RD WOODSTOCK GA 3018	WARD GRAYLIN C & VICTOR BUTLER 27 EAST BROAD ST NEWNAN GA 30263	WARD GRAYLIN C 27 EAST BROAD ST NEWNAN GA 30263
WHITE ROY 14 SALBIDE AVE NEWNAN GA 30263	WILSON SEAN P & JESSICA PRYOR 7 SALBIDE AVE NEWNAN GA 30263	YOUNG LESLIE B 79 EAST BROAD ST NEWNAN GA 30263
ZACKERY GLORIA 3 LOGWOOD LN NEWNAN GA 30265	FIRST UNION NATIONAL BANK C/O THOMAS REUTERS	ATLANTA WEST POINT RAILROAD



**PROPERTY OWNERS WITHIN 205' OF TRACT 2**

ALLEN JEFFREY DEAN  
76 EAST BROAD ST  
NEWNAN GA 30263

BEAVERS BROTHERS LLC  
32 E WASHINGTON ST  
NEWNAN GA 30263

BROAD STREET FORUM INC  
4000 TOWER RD  
LOUISVILLE KY 40219

BROAD STREET FORUM INC  
STE 141 3500 HWY 34 E  
SHARPSBURG GA 30277

BRODERICK JOHN W & MAUREE  
70 EAST BRD ST  
NEWNAN GA 30263

CHAPMAN WILLIAM KEITH & LYNN I  
71 E BROAD ST  
NEWNAN GA 30263

CITY OF NEWNAN GEORGIA  
25 LAGRANGE ST  
NEWNAN GA 30263

CITY OF NEWNAN GEORGIA  
25 LAGRANGE ST  
NEWNAN GA 30263

GOODSON JENNIFER & BRIAN  
78 E BROAD ST  
NEWNAN GA 30263

HEADLEY WILLIAM V  
PO BOX 719 144 E WASHINGTON ST  
NEWNAN GA 30264

LANDRUM LAVANN P & CHARLES, LAURIE  
0075 EAST BRD ST  
NEWNAN GA 30263

LOVEJOY MEMORIAL UNITED MST  
CHURCH  
58 E WASHINGTON ST  
NEWNAN GA 30263

MC INTOSH LODGE #735  
C/O CLAUDE G COOPER

NEWNAN COWETA HISTORICAL SOCIETY  
PO BOX 1001  
NEWNAN, GA 30264

RENDER MATTLINE  
8 THOMPSON ST  
NEWNAN GA 30263

MCINTOSH LODGE #735  
50 E WASHINGTON ST  
NEWNAN GA 30263

SMITH CHRIS M & COURTNEY N  
72 EAST BROAD ST  
NEWNAN GA 30263

YOUNG LESLIE B  
79 EAST BROAD ST  
NEWNAN GA 30263

ATLANTA WEST POINT RAILROAD

**TAB 3**

**Legal Description of the Property**

## LEGAL DESCRIPTION

All that tract or parcel of land lying and being in the City of Newnan in Land Lot 25 of the 5th Land District of Coweta County, Georgia, and being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc. by W. W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002, as recorded in Plat Book 77, Page 50, Office of the Clerk of the Superior Court of Coweta County, Georgia, to which plat reference is hereby made for a more particular and accurate description of the property being conveyed and referenced herein.

BK01995PG312

FILED IN OFFICE  
CLERK OF  
SUPERIOR/JUVENILE  
COURT

2002 SEP 27 AM 11:15

CINDY G. BROWN, CLERK  
COWETA COUNTY, GA

Rec'd Estate Transfer Tax ✓  
Paid \$ 1740.00  
Date 9-27-02

*Cindy G. Brown*

Clerk of Superior Court, Coweta Co., Ga.

Return to:  
Stites & Harbison  
3350 Riverwood Parkway, Suite 1700  
Atlanta, Georgia 30339  
Our File No. CA029.0CA31

STATE OF OKLAHOMA

COUNTY OF TULSA

LIMITED WARRANTY DEED

THIS INDENTURE is made this 25 day of September, 2002, by and between  
✓ MATRIX STEEL CONTRACTORS, INC., successor by name change to BROWN STEEL  
CONTRACTORS, INC., a Georgia corporation (hereinafter referred to as "Grantor"), and  
BROAD STREET FORUM, INC., a Georgia corporation (hereinafter referred to as "Grantee").

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of Ten and No/100 Dollars (\$10.00) and  
other valuable consideration, in hand paid at and before the sealing and delivery of these  
presents, the receipt and sufficiency whereof is hereby acknowledged, Grantor has granted,  
bargained, sold, conveyed, and confirmed and by these presents does hereby grant, bargain, sell,  
convey, and confirm unto Grantee, and the successors and assigns of Grantee,

All that tract or parcel of land, situate, lying and being in the City of Newnan, Coweta  
County, Georgia, and being more particularly described in Exhibit "A" attached hereto  
and incorporated herein by reference.

THIS CONVEYANCE IS MADE SUBJECT TO ALL EASEMENTS, RIGHTS-OF-  
WAY AND RESTRICTIONS OF RECORD, AND SPECIFICALLY THOSE PERMITTED  
ENCUMBRANCES AS SET FORTH ON EXHIBIT "B" ATTACHED HERETO AND MADE  
A PART HEREOF.

BK01995PG313

TO HAVE AND TO HOLD the said bargained premises, together with all and singular the rights, members, and appurtenances thereof, to the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of Grantee, and the successors and assigns of Grantee, forever IN FEE SIMPLE.

GRANTOR HEREBY WARRANTS and will forever defend all right, title and interest in and to the above-described property unto Grantee and the successors and assigns of Grantee against the lawful claims of all persons claiming by, through or under Grantor.

IN WITNESS WHEREOF, Grantor has executed this document under seal on the day and year first above written.

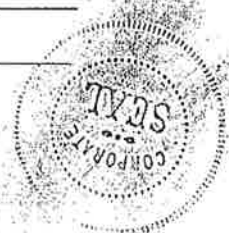
GRANTOR:

MATRIX STEEL CONTRACTORS, INC.,  
successor by name change to BROWN STEEL  
CONTRACTORS, INC., a Georgia corporation

By: *[Signature]*

Title: ASST. SECRETARY

[CORPORATE SEAL]



Signed, sealed and delivered in the presence of:

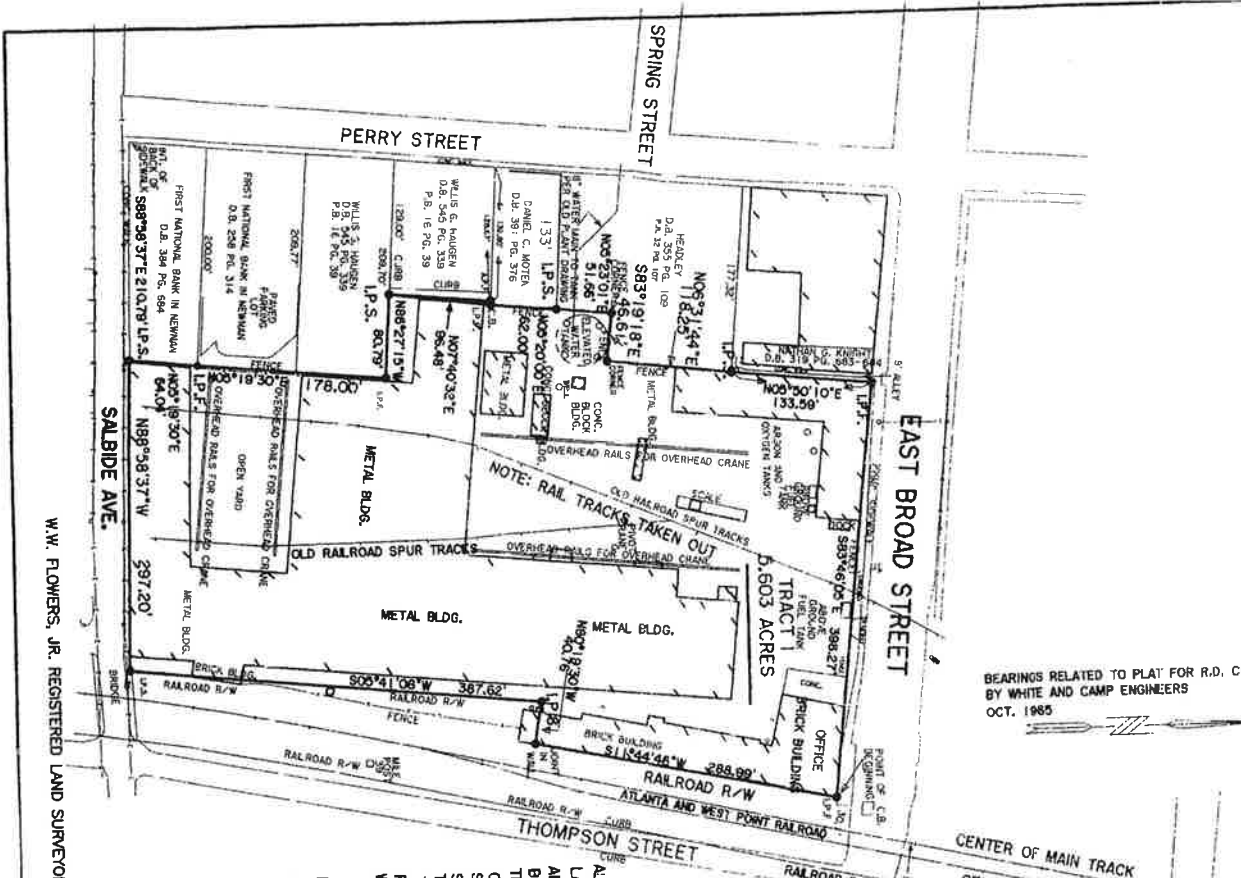
*Melissa Fox*  
Unofficial Witness

*Nita Large*  
Notary Public  
My Commission Expires:

Nita Large  
Commission No. 02007703  
Rogers County, Oklahoma  
My Commission Expires May 1, 2006

[Notarial Seal]

THIS MAP OR PLAN HAS BEEN CALCULATED FROM THE DATA SUBMITTED BY THE SURVEYOR AND IS NOT TO BE CONSIDERED A SUBSTITUTE FOR THE ORIGINAL SURVEY. THE TOTAL AREA OF THE TRACT IS 5.603 ACRES. THE TOTAL AREA OF THE TRACT IS 5.603 ACRES. THE TOTAL AREA OF THE TRACT IS 5.603 ACRES.



BEARINGS RELATED TO PLAT FOR R.D. COLE BY WHITE AND CAMP ENGINEERS OCT. 1985

LEGEND:  
 I.P.S. - IRON PIN SET  
 L.P.F. - IRON PIN FOUND  
 R.W. - RIGHT OF WAY  
 C.O. - CENTER OF MAIN TRACK  
 S.C. - SOUTH CURB LINE

W.W. FLOWERS, JR. REGISTERED LAND SURVEYOR NEWMAN, GA. 770-253-3388

**TRACT I**  
 LEGAL DESCRIPTION  
 ALL THAT CERTAIN TRACT OF LAND BEING IN THE CITY OF NEWMAN LAND LOT 25 LAND DISTRICT 5 OF COMETA COUNTY, GEORGIA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS  
 BEGINNING AT AN IRON PIN FOUND AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY OF EAST BROAD STREET AND THE WEST RIGHT OF WAY OF THE ATLANTA AND WEST POINT RAILROAD AND FROM SAID POINT OF BEGINNING GO S 1°44'46" W FOR 288.99' ALONG SAID RAILROAD RIGHT OF WAY TO A JOINT IN WALL OF BUILDING THENCE GO N 80°19'30" W FOR 40.76' TO AN IRON PIN SET; THENCE CONTINUING ALONG SAID RAILROAD R/W S 05°41'08" W FOR 387.62' TO AN IRON PIN SET AT THE NORTH RIGHT OF WAY OF SALBIDE AVENUE; THENCE GO N 88°56'37" W FOR 297.20' ALONG THE NORTH RIGHT OF WAY OF SALBIDE AVE. TO AN IRON PIN SET; THENCE LEAVING SAID RIGHT OF WAY GO N 05°19'30" E FOR 178.00' TO AN IRON PIN FOUND; THENCE GO N 85°27'15" W FOR 80.79' TO AN IRON PIN SET; THENCE GO N 07°40'32" E FOR 96.48' TO AN IRON PIN FOUND; THENCE GO N 05°20'00" E FOR 62.00' TO AN IRON PIN SET; THENCE GO N 05°23'01" E FOR 51.85' TO A FENCE CORNER; THENCE GO S 83°19'18" E FOR 46.61' TO A FENCE CORNER; THENCE GO N 06°31'44" E FOR 118.25' TO AN IRON PIN FOUND; THENCE GO N 05°50'10" E FOR 133.59' TO AN IRON PIN FOUND AT THE SOUTH RIGHT OF WAY OF EAST BROAD STREET; THENCE GO S 83°46'03" E ALONG THE SOUTH RIGHT OF WAY OF EAST BROAD STREET FOR 398.27' TO THE POINT OF BEGINNING.  
 TRACT I CONTAINING 3.603 ACRES

**TRACT II**  
 LEGAL DESCRIPTION  
 ALL THAT CERTAIN TRACT OF LAND BEING IN THE CITY OF NEWMAN LAND LOT 25 LAND DISTRICT 5 OF COMETA COUNTY, GEORGIA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS  
 BEGINNING AT AN IRON PIN SET AT THE INTERSECTION OF THE NORTH RIGHT OF WAY OF EAST BROAD STREET AND THE EAST RIGHT OF WAY OF THE ATLANTA AND WEST POINT RAILROAD THENCE GO N 07°49'21" E FOR 249.45' ALONG THE EAST RIGHT OF SAID RAILROAD TO AN IRON PIN FOUND AT THE SOUTH RIGHT OF WAY OF EAST WASHINGTON STREET; THENCE GO S 83°47'21" E FOR 182.93' ALONG THE SOUTH RIGHT OF WAY OF EAST WASHINGTON STREET TO AN IRON PIN FOUND; THENCE GO S 05°27'35" W FOR 244.60' TO AN IRON PIN FOUND AT THE NORTH R/W OF EAST BROAD; THENCE GO ALONG THE NORTH RIGHT OF WAY OF EAST BROAD STREET N 85°12'55" W FOR 192.50' AND THE POINT OF BEGINNING.  
 TRACT II CONTAINING 1.064 ACRES

ALTA/ACSM LAND TITLE SURVEY  
**BROAD STREET FORUM, INC.**  
 LOCATED IN THE CITY OF NEWMAN  
 LAND LOT 25 LAND DISTRICT 5  
 COMETA COUNTY, GEORGIA



DATE: 09/24/02

REGISTRATION NO. 1975

FAX 254-1455

SCALE: 1" = 80'  
 GRAPHIC SCALE - FEET  
 0 80 160 240  
 SEPTEMBER 24, 2002

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THIS SURVEY ON WHICH IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS "JOINTLY" ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 1992, AND INCLUDES ITEMS 1.2.3.4.6.8, AND 10 OF TABLE A THEROF, AND PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM) AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) AN URBAN SURVEY.

FILED IN OFFICE  
 CLERK OF SUPERIOR COURT  
 COUNTY OF COMETA  
 2002 SEP 27 AM 11:13  
 CLAYTON S. GIBSON, CLERK  
 COMETA COUNTY, GA.

BK 01995 PG 314

EXHIBIT "A"

All that tract or parcel of land lying and being in the City of Newnan in Land Lot 25 of the 5th Land District of Coweta County, Georgia, and being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc. by W. W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002, as recorded in Plat Book 77, Page 50, Office of the Clerk of the Superior Court of Coweta County, Georgia, to which plat reference is hereby made for a more particular and accurate description of the property being conveyed and referenced herein.

BK02106PG253

**EXHIBIT "A"**

All that tract or parcel of land lying and being in the City of Newnan in Land Lot 25 of the 5th Land District of Coweta County, Georgia, and being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc. by W. W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002, as recorded in Plat Book 77, Page 50, Office of the Clerk of the Superior Court of Coweta County, Georgia, to which plat reference is hereby made for a more particular and accurate description of the property being conveyed and referenced herein.



BK01995PG315

**EXHIBIT "B"**

1. State and county property taxes for calendar year 2002 and subsequent years thereafter, not yet due and payable.
2. Those matters of survey as shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc., by W.W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002.

FILED IN OFFICE  
CLERK OF  
SUPERIOR/JUVENILE  
COURT BK02106PG250

2003 FEB -7 PM 12:42

CINDY B. BROWN, CLERK  
COWETA COUNTY, GA

Return to:  
Stites & Harbison  
3350 Riverwood Parkway, Suite 1700  
Atlanta, Georgia 30339  
Our File No. CA029.000CA

Cross Reference to:  
Deed Book 1528, Page 600  
Coweta County, Georgia Records

**MEMORANDUM REGARDING  
TERMINATION OF FACILITIES USE AGREEMENT  
AND ESTABLISHMENT OF NEW FACILITIES USE AGREEMENT**

THIS MEMORANDUM is hereby entered into as of the 23rd day of January, 2003, by and between BROAD STREET FORUM, INC., a Georgia corporation ("BSF") and CALDWELL TANKS ALLIANCE, LLC, a Georgia limited liability company ("Caldwell") for the purpose of establishing for the record certain actions that have taken place between the parties relative to the real property herein referenced.

RECITALS:

- A. BSF is the fee simple owner of the property identified as 57 East Broad Street, Newnan, Coweta County, Georgia (the "Property"), such Property being more fully identified in Exhibit "A" attached hereto and incorporated herein by reference.
- B. BSF acquired the Property from Matrix Steel Contractors, Inc., successor by name change to Brown Steel Contractors, Inc. by Limited Warranty Deed dated September 25, 2002, recorded September 27, 2002 in Deed Book 1995, Page 312, Coweta County, Georgia Records.
- C. BSF became the purchaser of the Property by virtue of an Assignment Agreement dated August 27, 2002, from Caldwell, as Assignor, to BSF, as Assignee, whereby Caldwell assigned to BSF its right to purchase the Property under and pursuant to an option to purchase as specifically set forth in that certain Facilities Use and Purchase Option Agreement dated August 31, 1999 between Brown Steel Contractors, Inc. and Caldwell, which agreement was recorded in Deed Book 1528, Page 600, Coweta County, Georgia Records (hereinafter referred to as the "Facilities Use Agreement").

BK02106PG251

D. Section 3(c) of the Facilities Use Agreement specifically stated that said Agreement would terminate in its entirety, without further action by either party, immediately upon the purchase by Caldwell (or its designee) of the Property from Brown Steel Contractors, Inc. BSF was the designee of Caldwell by virtue of the above-referenced Assignment Agreement.

NOW THEREFOR, in consideration of the premises, Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is herein acknowledged, BSF and Caldwell herein agree as follows:

1. The parties herein acknowledge, stipulate and agree that the above-referenced Facilities Use Agreement, by virtue of its self-operating termination provision (Section 3(c)) is herewith terminated in its entirety and is no longer valid and of any force or effect.
2. The parties herein acknowledge and state that a new Facilities Use Agreement was entered into between BSF and Caldwell dated September 25, 2002, which Agreement reflects that Caldwell is continuing to occupy and use the Property, but such use and occupancy is in accordance with the new Facilities Use Agreement with BSF.
3. Third parties are herewith on notice that Caldwell is occupying the Property pursuant to said new Facilities Use Agreement, a copy of which may be obtained from either BSF or Caldwell.

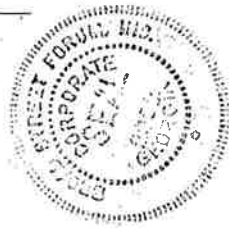
IN WITNESS WHEREOF, the undersigned parties have hereunto entered into this Memorandum, the day and year first above written.

BROAD STREET FORUM, INC.,  
a Georgia corporation

By: *B. J. [Signature]*

Title: Vice President

[CORPORATE SEAL]



Signed, sealed and delivered in the presence of:

*[Signature]*  
Unofficial Witness

*[Signature]*  
Notary Public

My Commission Expires:

July 29, 2006  
[Notary Seal]

BK02106PG252

CALDWELL TANKS ALLIANCE, LLC,  
a Georgia limited liability company

By: B. J. J. J.

Title: Treasurer

Signed, sealed and delivered in the  
presence of:

Daniel R. J. J.  
Unofficial Witness

[Signature]  
Notary Public

My Commission Expires:

July 29, 2006  
[Notary Seal]

**TAB 4**

**Certified Plat**

**LEGEND**

1/8" = 1' CONCRETE  
 1/4" = 2' CONCRETE  
 1/2" = 4' CONCRETE  
 3/4" = 6' CONCRETE  
 1" = 8' CONCRETE  
 1 1/4" = 10' CONCRETE  
 1 1/2" = 12' CONCRETE  
 1 3/4" = 14' CONCRETE  
 2" = 16' CONCRETE  
 2 1/4" = 18' CONCRETE  
 2 1/2" = 20' CONCRETE  
 2 3/4" = 22' CONCRETE  
 3" = 24' CONCRETE  
 3 1/4" = 26' CONCRETE  
 3 1/2" = 28' CONCRETE  
 3 3/4" = 30' CONCRETE  
 4" = 32' CONCRETE  
 4 1/4" = 34' CONCRETE  
 4 1/2" = 36' CONCRETE  
 4 3/4" = 38' CONCRETE  
 5" = 40' CONCRETE  
 5 1/4" = 42' CONCRETE  
 5 1/2" = 44' CONCRETE  
 5 3/4" = 46' CONCRETE  
 6" = 48' CONCRETE  
 6 1/4" = 50' CONCRETE  
 6 1/2" = 52' CONCRETE  
 6 3/4" = 54' CONCRETE  
 7" = 56' CONCRETE  
 7 1/4" = 58' CONCRETE  
 7 1/2" = 60' CONCRETE  
 7 3/4" = 62' CONCRETE  
 8" = 64' CONCRETE  
 8 1/4" = 66' CONCRETE  
 8 1/2" = 68' CONCRETE  
 8 3/4" = 70' CONCRETE  
 9" = 72' CONCRETE  
 9 1/4" = 74' CONCRETE  
 9 1/2" = 76' CONCRETE  
 9 3/4" = 78' CONCRETE  
 10" = 80' CONCRETE  
 10 1/4" = 82' CONCRETE  
 10 1/2" = 84' CONCRETE  
 10 3/4" = 86' CONCRETE  
 11" = 88' CONCRETE  
 11 1/4" = 90' CONCRETE  
 11 1/2" = 92' CONCRETE  
 11 3/4" = 94' CONCRETE  
 12" = 96' CONCRETE  
 12 1/4" = 98' CONCRETE  
 12 1/2" = 100' CONCRETE  
 12 3/4" = 102' CONCRETE  
 13" = 104' CONCRETE  
 13 1/4" = 106' CONCRETE  
 13 1/2" = 108' CONCRETE  
 13 3/4" = 110' CONCRETE  
 14" = 112' CONCRETE  
 14 1/4" = 114' CONCRETE  
 14 1/2" = 116' CONCRETE  
 14 3/4" = 118' CONCRETE  
 15" = 120' CONCRETE  
 15 1/4" = 122' CONCRETE  
 15 1/2" = 124' CONCRETE  
 15 3/4" = 126' CONCRETE  
 16" = 128' CONCRETE  
 16 1/4" = 130' CONCRETE  
 16 1/2" = 132' CONCRETE  
 16 3/4" = 134' CONCRETE  
 17" = 136' CONCRETE  
 17 1/4" = 138' CONCRETE  
 17 1/2" = 140' CONCRETE  
 17 3/4" = 142' CONCRETE  
 18" = 144' CONCRETE  
 18 1/4" = 146' CONCRETE  
 18 1/2" = 148' CONCRETE  
 18 3/4" = 150' CONCRETE  
 19" = 152' CONCRETE  
 19 1/4" = 154' CONCRETE  
 19 1/2" = 156' CONCRETE  
 19 3/4" = 158' CONCRETE  
 20" = 160' CONCRETE  
 20 1/4" = 162' CONCRETE  
 20 1/2" = 164' CONCRETE  
 20 3/4" = 166' CONCRETE  
 21" = 168' CONCRETE  
 21 1/4" = 170' CONCRETE  
 21 1/2" = 172' CONCRETE  
 21 3/4" = 174' CONCRETE  
 22" = 176' CONCRETE  
 22 1/4" = 178' CONCRETE  
 22 1/2" = 180' CONCRETE  
 22 3/4" = 182' CONCRETE  
 23" = 184' CONCRETE  
 23 1/4" = 186' CONCRETE  
 23 1/2" = 188' CONCRETE  
 23 3/4" = 190' CONCRETE  
 24" = 192' CONCRETE  
 24 1/4" = 194' CONCRETE  
 24 1/2" = 196' CONCRETE  
 24 3/4" = 198' CONCRETE  
 25" = 200' CONCRETE  
 25 1/4" = 202' CONCRETE  
 25 1/2" = 204' CONCRETE  
 25 3/4" = 206' CONCRETE  
 26" = 208' CONCRETE  
 26 1/4" = 210' CONCRETE  
 26 1/2" = 212' CONCRETE  
 26 3/4" = 214' CONCRETE  
 27" = 216' CONCRETE  
 27 1/4" = 218' CONCRETE  
 27 1/2" = 220' CONCRETE  
 27 3/4" = 222' CONCRETE  
 28" = 224' CONCRETE  
 28 1/4" = 226' CONCRETE  
 28 1/2" = 228' CONCRETE  
 28 3/4" = 230' CONCRETE  
 29" = 232' CONCRETE  
 29 1/4" = 234' CONCRETE  
 29 1/2" = 236' CONCRETE  
 29 3/4" = 238' CONCRETE  
 30" = 240' CONCRETE  
 30 1/4" = 242' CONCRETE  
 30 1/2" = 244' CONCRETE  
 30 3/4" = 246' CONCRETE  
 31" = 248' CONCRETE  
 31 1/4" = 250' CONCRETE  
 31 1/2" = 252' CONCRETE  
 31 3/4" = 254' CONCRETE  
 32" = 256' CONCRETE  
 32 1/4" = 258' CONCRETE  
 32 1/2" = 260' CONCRETE  
 32 3/4" = 262' CONCRETE  
 33" = 264' CONCRETE  
 33 1/4" = 266' CONCRETE  
 33 1/2" = 268' CONCRETE  
 33 3/4" = 270' CONCRETE  
 34" = 272' CONCRETE  
 34 1/4" = 274' CONCRETE  
 34 1/2" = 276' CONCRETE  
 34 3/4" = 278' CONCRETE  
 35" = 280' CONCRETE  
 35 1/4" = 282' CONCRETE  
 35 1/2" = 284' CONCRETE  
 35 3/4" = 286' CONCRETE  
 36" = 288' CONCRETE  
 36 1/4" = 290' CONCRETE  
 36 1/2" = 292' CONCRETE  
 36 3/4" = 294' CONCRETE  
 37" = 296' CONCRETE  
 37 1/4" = 298' CONCRETE  
 37 1/2" = 300' CONCRETE  
 37 3/4" = 302' CONCRETE  
 38" = 304' CONCRETE  
 38 1/4" = 306' CONCRETE  
 38 1/2" = 308' CONCRETE  
 38 3/4" = 310' CONCRETE  
 39" = 312' CONCRETE  
 39 1/4" = 314' CONCRETE  
 39 1/2" = 316' CONCRETE  
 39 3/4" = 318' CONCRETE  
 40" = 320' CONCRETE  
 40 1/4" = 322' CONCRETE  
 40 1/2" = 324' CONCRETE  
 40 3/4" = 326' CONCRETE  
 41" = 328' CONCRETE  
 41 1/4" = 330' CONCRETE  
 41 1/2" = 332' CONCRETE  
 41 3/4" = 334' CONCRETE  
 42" = 336' CONCRETE  
 42 1/4" = 338' CONCRETE  
 42 1/2" = 340' CONCRETE  
 42 3/4" = 342' CONCRETE  
 43" = 344' CONCRETE  
 43 1/4" = 346' CONCRETE  
 43 1/2" = 348' CONCRETE  
 43 3/4" = 350' CONCRETE  
 44" = 352' CONCRETE  
 44 1/4" = 354' CONCRETE  
 44 1/2" = 356' CONCRETE  
 44 3/4" = 358' CONCRETE  
 45" = 360' CONCRETE  
 45 1/4" = 362' CONCRETE  
 45 1/2" = 364' CONCRETE  
 45 3/4" = 366' CONCRETE  
 46" = 368' CONCRETE  
 46 1/4" = 370' CONCRETE  
 46 1/2" = 372' CONCRETE  
 46 3/4" = 374' CONCRETE  
 47" = 376' CONCRETE  
 47 1/4" = 378' CONCRETE  
 47 1/2" = 380' CONCRETE  
 47 3/4" = 382' CONCRETE  
 48" = 384' CONCRETE  
 48 1/4" = 386' CONCRETE  
 48 1/2" = 388' CONCRETE  
 48 3/4" = 390' CONCRETE  
 49" = 392' CONCRETE  
 49 1/4" = 394' CONCRETE  
 49 1/2" = 396' CONCRETE  
 49 3/4" = 398' CONCRETE  
 50" = 400' CONCRETE  
 50 1/4" = 402' CONCRETE  
 50 1/2" = 404' CONCRETE  
 50 3/4" = 406' CONCRETE  
 51" = 408' CONCRETE  
 51 1/4" = 410' CONCRETE  
 51 1/2" = 412' CONCRETE  
 51 3/4" = 414' CONCRETE  
 52" = 416' CONCRETE  
 52 1/4" = 418' CONCRETE  
 52 1/2" = 420' CONCRETE  
 52 3/4" = 422' CONCRETE  
 53" = 424' CONCRETE  
 53 1/4" = 426' CONCRETE  
 53 1/2" = 428' CONCRETE  
 53 3/4" = 430' CONCRETE  
 54" = 432' CONCRETE  
 54 1/4" = 434' CONCRETE  
 54 1/2" = 436' CONCRETE  
 54 3/4" = 438' CONCRETE  
 55" = 440' CONCRETE  
 55 1/4" = 442' CONCRETE  
 55 1/2" = 444' CONCRETE  
 55 3/4" = 446' CONCRETE  
 56" = 448' CONCRETE  
 56 1/4" = 450' CONCRETE  
 56 1/2" = 452' CONCRETE  
 56 3/4" = 454' CONCRETE  
 57" = 456' CONCRETE  
 57 1/4" = 458' CONCRETE  
 57 1/2" = 460' CONCRETE  
 57 3/4" = 462' CONCRETE  
 58" = 464' CONCRETE  
 58 1/4" = 466' CONCRETE  
 58 1/2" = 468' CONCRETE  
 58 3/4" = 470' CONCRETE  
 59" = 472' CONCRETE  
 59 1/4" = 474' CONCRETE  
 59 1/2" = 476' CONCRETE  
 59 3/4" = 478' CONCRETE  
 60" = 480' CONCRETE  
 60 1/4" = 482' CONCRETE  
 60 1/2" = 484' CONCRETE  
 60 3/4" = 486' CONCRETE  
 61" = 488' CONCRETE  
 61 1/4" = 490' CONCRETE  
 61 1/2" = 492' CONCRETE  
 61 3/4" = 494' CONCRETE  
 62" = 496' CONCRETE  
 62 1/4" = 498' CONCRETE  
 62 1/2" = 500' CONCRETE  
 62 3/4" = 502' CONCRETE  
 63" = 504' CONCRETE  
 63 1/4" = 506' CONCRETE  
 63 1/2" = 508' CONCRETE  
 63 3/4" = 510' CONCRETE  
 64" = 512' CONCRETE  
 64 1/4" = 514' CONCRETE  
 64 1/2" = 516' CONCRETE  
 64 3/4" = 518' CONCRETE  
 65" = 520' CONCRETE  
 65 1/4" = 522' CONCRETE  
 65 1/2" = 524' CONCRETE  
 65 3/4" = 526' CONCRETE  
 66" = 528' CONCRETE  
 66 1/4" = 530' CONCRETE  
 66 1/2" = 532' CONCRETE  
 66 3/4" = 534' CONCRETE  
 67" = 536' CONCRETE  
 67 1/4" = 538' CONCRETE  
 67 1/2" = 540' CONCRETE  
 67 3/4" = 542' CONCRETE  
 68" = 544' CONCRETE  
 68 1/4" = 546' CONCRETE  
 68 1/2" = 548' CONCRETE  
 68 3/4" = 550' CONCRETE  
 69" = 552' CONCRETE  
 69 1/4" = 554' CONCRETE  
 69 1/2" = 556' CONCRETE  
 69 3/4" = 558' CONCRETE  
 70" = 560' CONCRETE  
 70 1/4" = 562' CONCRETE  
 70 1/2" = 564' CONCRETE  
 70 3/4" = 566' CONCRETE  
 71" = 568' CONCRETE  
 71 1/4" = 570' CONCRETE  
 71 1/2" = 572' CONCRETE  
 71 3/4" = 574' CONCRETE  
 72" = 576' CONCRETE  
 72 1/4" = 578' CONCRETE  
 72 1/2" = 580' CONCRETE  
 72 3/4" = 582' CONCRETE  
 73" = 584' CONCRETE  
 73 1/4" = 586' CONCRETE  
 73 1/2" = 588' CONCRETE  
 73 3/4" = 590' CONCRETE  
 74" = 592' CONCRETE  
 74 1/4" = 594' CONCRETE  
 74 1/2" = 596' CONCRETE  
 74 3/4" = 598' CONCRETE  
 75" = 600' CONCRETE  
 75 1/4" = 602' CONCRETE  
 75 1/2" = 604' CONCRETE  
 75 3/4" = 606' CONCRETE  
 76" = 608' CONCRETE  
 76 1/4" = 610' CONCRETE  
 76 1/2" = 612' CONCRETE  
 76 3/4" = 614' CONCRETE  
 77" = 616' CONCRETE  
 77 1/4" = 618' CONCRETE  
 77 1/2" = 620' CONCRETE  
 77 3/4" = 622' CONCRETE  
 78" = 624' CONCRETE  
 78 1/4" = 626' CONCRETE  
 78 1/2" = 628' CONCRETE  
 78 3/4" = 630' CONCRETE  
 79" = 632' CONCRETE  
 79 1/4" = 634' CONCRETE  
 79 1/2" = 636' CONCRETE  
 79 3/4" = 638' CONCRETE  
 80" = 640' CONCRETE  
 80 1/4" = 642' CONCRETE  
 80 1/2" = 644' CONCRETE  
 80 3/4" = 646' CONCRETE  
 81" = 648' CONCRETE  
 81 1/4" = 650' CONCRETE  
 81 1/2" = 652' CONCRETE  
 81 3/4" = 654' CONCRETE  
 82" = 656' CONCRETE  
 82 1/4" = 658' CONCRETE  
 82 1/2" = 660' CONCRETE  
 82 3/4" = 662' CONCRETE  
 83" = 664' CONCRETE  
 83 1/4" = 666' CONCRETE  
 83 1/2" = 668' CONCRETE  
 83 3/4" = 670' CONCRETE  
 84" = 672' CONCRETE  
 84 1/4" = 674' CONCRETE  
 84 1/2" = 676' CONCRETE  
 84 3/4" = 678' CONCRETE  
 85" = 680' CONCRETE  
 85 1/4" = 682' CONCRETE  
 85 1/2" = 684' CONCRETE  
 85 3/4" = 686' CONCRETE  
 86" = 688' CONCRETE  
 86 1/4" = 690' CONCRETE  
 86 1/2" = 692' CONCRETE  
 86 3/4" = 694' CONCRETE  
 87" = 696' CONCRETE  
 87 1/4" = 698' CONCRETE  
 87 1/2" = 700' CONCRETE  
 87 3/4" = 702' CONCRETE  
 88" = 704' CONCRETE  
 88 1/4" = 706' CONCRETE  
 88 1/2" = 708' CONCRETE  
 88 3/4" = 710' CONCRETE  
 89" = 712' CONCRETE  
 89 1/4" = 714' CONCRETE  
 89 1/2" = 716' CONCRETE  
 89 3/4" = 718' CONCRETE  
 90" = 720' CONCRETE  
 90 1/4" = 722' CONCRETE  
 90 1/2" = 724' CONCRETE  
 90 3/4" = 726' CONCRETE  
 91" = 728' CONCRETE  
 91 1/4" = 730' CONCRETE  
 91 1/2" = 732' CONCRETE  
 91 3/4" = 734' CONCRETE  
 92" = 736' CONCRETE  
 92 1/4" = 738' CONCRETE  
 92 1/2" = 740' CONCRETE  
 92 3/4" = 742' CONCRETE  
 93" = 744' CONCRETE  
 93 1/4" = 746' CONCRETE  
 93 1/2" = 748' CONCRETE  
 93 3/4" = 750' CONCRETE  
 94" = 752' CONCRETE  
 94 1/4" = 754' CONCRETE  
 94 1/2" = 756' CONCRETE  
 94 3/4" = 758' CONCRETE  
 95" = 760' CONCRETE  
 95 1/4" = 762' CONCRETE  
 95 1/2" = 764' CONCRETE  
 95 3/4" = 766' CONCRETE  
 96" = 768' CONCRETE  
 96 1/4" = 770' CONCRETE  
 96 1/2" = 772' CONCRETE  
 96 3/4" = 774' CONCRETE  
 97" = 776' CONCRETE  
 97 1/4" = 778' CONCRETE  
 97 1/2" = 780' CONCRETE  
 97 3/4" = 782' CONCRETE  
 98" = 784' CONCRETE  
 98 1/4" = 786' CONCRETE  
 98 1/2" = 788' CONCRETE  
 98 3/4" = 790' CONCRETE  
 99" = 792' CONCRETE  
 99 1/4" = 794' CONCRETE  
 99 1/2" = 796' CONCRETE  
 99 3/4" = 798' CONCRETE  
 100" = 800' CONCRETE  
 100 1/4" = 802' CONCRETE  
 100 1/2" = 804' CONCRETE  
 100 3/4" = 806' CONCRETE  
 101" = 808' CONCRETE  
 101 1/4" = 810' CONCRETE  
 101 1/2" = 812' CONCRETE  
 101 3/4" = 814' CONCRETE  
 102" = 816' CONCRETE  
 102 1/4" = 818' CONCRETE  
 102 1/2" = 820' CONCRETE  
 102 3/4" = 822' CONCRETE  
 103" = 824' CONCRETE  
 103 1/4" = 826' CONCRETE  
 103 1/2" = 828' CONCRETE  
 103 3/4" = 830' CONCRETE  
 104" = 832' CONCRETE  
 104 1/4" = 834' CONCRETE  
 104 1/2" = 836' CONCRETE  
 104 3/4" = 838' CONCRETE  
 105" = 840' CONCRETE  
 105 1/4" = 842' CONCRETE  
 105 1/2" = 844' CONCRETE  
 105 3/4" = 846' CONCRETE  
 106" = 848' CONCRETE  
 106 1/4" = 850' CONCRETE  
 106 1/2" = 852' CONCRETE  
 106 3/4" = 854' CONCRETE  
 107" = 856' CONCRETE  
 107 1/4" = 858' CONCRETE  
 107 1/2" = 860' CONCRETE  
 107 3/4" = 862' CONCRETE  
 108" = 864' CONCRETE  
 108 1/4" = 866' CONCRETE  
 108 1/2" = 868' CONCRETE  
 108 3/4" = 870' CONCRETE  
 109" = 872' CONCRETE  
 109 1/4" = 874' CONCRETE  
 109 1/2" = 876' CONCRETE  
 109 3/4" = 878' CONCRETE  
 110" = 880' CONCRETE  
 110 1/4" = 882' CONCRETE  
 110 1/2" = 884' CONCRETE  
 110 3/4" = 886' CONCRETE  
 111" = 888' CONCRETE  
 111 1/4" = 890' CONCRETE  
 111 1/2" = 892' CONCRETE  
 111 3/4" = 894' CONCRETE  
 112" = 896' CONCRETE  
 112 1/4" = 898' CONCRETE  
 112 1/2" = 900' CONCRETE  
 112 3/4" = 902' CONCRETE  
 113" = 904' CONCRETE  
 113 1/4" = 906' CONCRETE  
 113 1/2" = 908' CONCRETE  
 113 3/4" = 910' CONCRETE  
 114" = 912' CONCRETE  
 114 1/4" = 914' CONCRETE  
 114 1/2" = 916' CONCRETE  
 114 3/4" = 918' CONCRETE  
 115" = 920' CONCRETE  
 115 1/4" = 922' CONCRETE  
 115 1/2" = 924' CONCRETE  
 115 3/4" = 926' CONCRETE  
 116" = 928' CONCRETE  
 116 1/4" = 930' CONCRETE  
 116 1/2" = 932' CONCRETE  
 116 3/4" = 934' CONCRETE  
 117" = 936' CONCRETE  
 117 1/4" = 938' CONCRETE  
 117 1/2" = 940' CONCRETE  
 117 3/4" = 942' CONCRETE  
 118" = 944' CONCRETE  
 118 1/4" = 946' CONCRETE  
 118 1/2" = 948' CONCRETE  
 118 3/4" = 950' CONCRETE  
 119" = 952' CONCRETE  
 119 1/4" = 954' CONCRETE  
 119 1/2" = 956' CONCRETE  
 119 3/4" = 958' CONCRETE  
 120" = 960' CONCRETE  
 120 1/4" = 962' CONCRETE  
 120 1/2" = 964' CONCRETE  
 120 3/4" = 966' CONCRETE  
 121" = 968' CONCRETE  
 121 1/4" = 970' CONCRETE  
 121 1/2" = 972' CONCRETE  
 121 3/4" = 974' CONCRETE  
 122" = 976' CONCRETE  
 122 1/4" = 978' CONCRETE  
 122 1/2" = 980' CONCRETE  
 122 3/4" = 982' CONCRETE  
 123" = 984' CONCRETE  
 123 1/4" = 986' CONCRETE  
 123 1/2" = 988' CONCRETE  
 123 3/4" = 990' CONCRETE  
 124" = 992' CONCRETE  
 124 1/4" = 994' CONCRETE  
 124 1/2" = 996' CONCRETE  
 124 3/4" = 998' CONCRETE  
 125" = 1000' CONCRETE



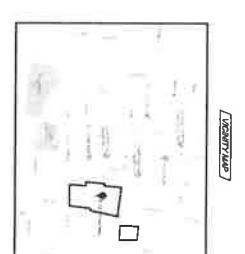
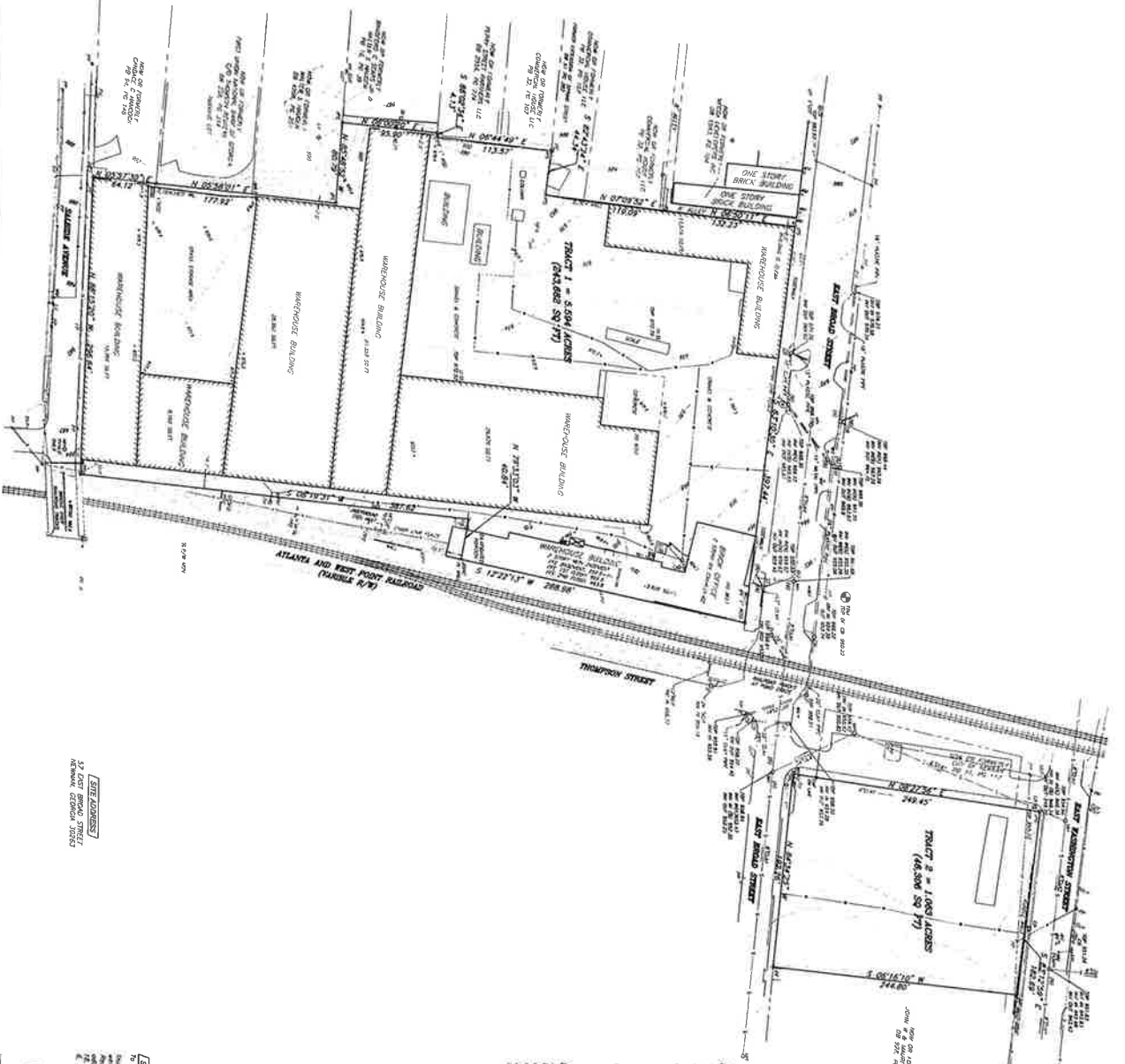
**PROPOSED WORK**  
 THE PROPOSED IMPROVEMENTS SHOWN ON THIS SURVEY ARE BASED ON RECORD SURVEYS BY JAMES H. HARRIS, SURVEYOR, AND OTHER RECORD SURVEYS AS NOTED THEREON. THE PROPOSED IMPROVEMENTS SHOWN ON THIS SURVEY ARE BASED ON THE ASSUMPTION THAT ALL RECORD SURVEYS ARE CORRECT AND THAT THE PROPOSED IMPROVEMENTS SHOWN ON THIS SURVEY WILL BE CONSTRUCTED ACCORDING TO THE RECORD SURVEYS AND THE PROPOSED IMPROVEMENTS SHOWN ON THIS SURVEY.

**CONVEYANCE STATEMENT**  
 THE UNDERSIGNED CERTAINLY KNOWS AND BELIEVES THAT THE UNDERSIGNED HAS THE POWER TO CONVEY AND WARRANTS THAT THE CONVEYANCE SHOWN ON THIS SURVEY IS VALID AND LEGAL AND THAT THE CONVEYANCE SHOWN ON THIS SURVEY IS NOT SUBJECT TO ANY OTHER CLAIM OR INTEREST.

**LEGAL DESCRIPTION**  
 THE UNDERSIGNED CERTAINLY KNOWS AND BELIEVES THAT THE UNDERSIGNED HAS THE POWER TO CONVEY AND WARRANTS THAT THE CONVEYANCE SHOWN ON THIS SURVEY IS VALID AND LEGAL AND THAT THE CONVEYANCE SHOWN ON THIS SURVEY IS NOT SUBJECT TO ANY OTHER CLAIM OR INTEREST.

**EXEMPTION STATEMENT**  
 THE UNDERSIGNED CERTAINLY KNOWS AND BELIEVES THAT THE UNDERSIGNED HAS THE POWER TO CONVEY AND WARRANTS THAT THE CONVEYANCE SHOWN ON THIS SURVEY IS VALID AND LEGAL AND THAT THE CONVEYANCE SHOWN ON THIS SURVEY IS NOT SUBJECT TO ANY OTHER CLAIM OR INTEREST.

**SITE ADDRESS**  
 1100 S. STATE STREET  
 NEWNAN, GEORGIA 30159



**EXEMPTION FROM THE COMMUNITY DEVELOPMENT**  
 FIRST AMERICAN TITLE INSURANCE COMPANY  
 1100 S. STATE STREET  
 NEWNAN, GEORGIA 30159  
 (6) Reservation of assessment as contained in the certain deed from City of Newnan to Home, D. Schuler, I.S. Wadell, et al. Trustee 12, 1958 of 800 s.m., recorded in Deed Book 91, page 150, of the records of Coweta County, Georgia, (Does Not Affect Subject Property as Shown Hereon)  
 (7) Part Book 71, Page 50, recorded by that certain deed recorded in Deed Book 71, Page 50, recorded in Deed Book 71, Page 50, recorded in Deed Book 71, Page 50.

**TITLE INSURANCE**  
 ALL THAT TRACT OF PART OF TRACT 1 AND TRACT 2 OF 1.53 ACRES OF LAND SITUATED IN THE CITY OF NEWNAN, COUNTY OF COWETA, GEORGIA, AS SHOWN ON THE SURVEY OF THE CITY OF NEWNAN, COUNTY OF COWETA, GEORGIA, AND MORE PARTICULARLY DESCRIBED AS A PART HEREOF IN PARAGRAPHS 1 THROUGH 4 OF THE DEED RECORDED IN DEED BOOK 77, PAGE 123 OF THE RECORDS OF COWETA COUNTY, GEORGIA, WHICH DEED IS INCORPORATED BY REFERENCE.

**AUTOMATIC CONTRACTORS**  
 TO THE RESIDENTIAL GROUP, LLC & CHICAGO TITLE INSURANCE COMPANY  
 1100 S. STATE STREET  
 NEWNAN, GEORGIA 30159

## **TAB 5**

### **Preferred Conditions**



**City of Newnan, Georgia**  
**Attachment A**  
**Proffered Conditions**

As part of an application for a rezoning, a property owner **MAY** proffer, in writing, proposed conditions to apply and be part of the rezoning being requested by the applicant. Proffered conditions may include written statements, development plans, profiles, elevations, or other demonstrative materials.  
*(Please refer to Article 10 of the Zoning Ordinance for complete details.)*

Please list any written proffered conditions below:

The dedication of the easement for the LINC as outlined on the submitted plans

---

---

---

---

---

Any development plans, profiles, elevations, or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application:


Please see all attached plans, profiles, elevations, pictures and other demonstrative materials submitted with the application.

---

---

---

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

  
Signature of Applicant

KURT ALEXANDER  
Type or Print Name and Title

\_\_\_\_\_  
Signature of Applicant's Representative

MELISSA D. GRIFFIS, ESQ.  
Type or Print Name and Title

 4/24/19  
Signature of Notary Public Date

(Affix Raised Seal Here)







**City of Newnan, Georgia**  
Attachment A  
**Proffered Conditions**

As part of an application for a rezoning, a property owner **MAY** proffer, in writing, proposed conditions to apply and be part of the rezoning being requested by the applicant. Proffered conditions may include written statements, development plans, profiles, elevations, or other demonstrative materials.  
*(Please refer to Article 10 of the Zoning Ordinance for complete details.)*

Please list any written proffered conditions below:

The dedication of the easement for the LINC as outlined on the submitted plans

---

---

---

---

---

Any development plans, profiles, elevations, or other demonstrative materials presented as proffered conditions shall be referenced below and attached to this application:

Please see all attached plans, profiles, elevations, pictures and other demonstrative materials submitted with the application.

---

---

---

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

Signature of Applicant

*Melissa D. Griffis*

Signature of Applicant's Representative

KURT ALEXANDER

Type or Print Name and Title

MELISSA D. GRIFFIS, ESQ.

Type or Print Name and Title

Karen Rebeck 11-25-19  
Signature of Notary Public Date



(Affix Raised Seal Here)

**TAB 6**

**Disclosure of Campaign Contributions  
And Gifts**



City of Newnan, Georgia
Attachment B

Disclosure of Campaign Contributions & Gifts

Application filed on April 25, 2019 for action by the Planning Commission on rezoning requiring a public hearing on property described as follows:

6.667 +/- acres on East Broad Street

The undersigned below, making application for Planning Commission action, has complied with the Official Code of Georgia Section 36-67A-1, et.seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on this form as provided.

All individuals, business entities, or other organizations' having a property or other interest in said property subject of this application are as follows:

Have you as applicant or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Newnan City Council or a member of the Newnan Planning Commission? Yes No

If YES, please complete the following section (attach additional sheets if necessary):

Table with 3 columns: Name and Official Position of Government Official, Contributions (List all which aggregate to \$250 or more), Date of Contribution (Within last 2 years)

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

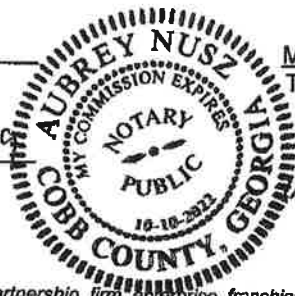
Signature of Applicant (Handwritten signature)

KURT ALEXANDER
Type or Print Name and Title

Signature of Applicant's Representative

MELISSA D. GRIFFIS, ESQ.
Type or Print Name and Title

Signature of Notary Public (Handwritten signature) Date 4/24/19



Affix Raised Seal Here)

Business entity may be a corporation, partnership, limited partnership, firm, enterprise, franchise, association, trade organization, or trust while other organization means non-profit organization, labor union, lobbyist or other industry or casual representative, church, foundation, club, charitable organization, or educational organization.



**City of Newnan, Georgia  
Attachment B**

**Disclosure of Campaign Contributions & Gifts**

Application filed on April 25, 2019, for action by the Planning Commission on rezoning requiring a public hearing on property described as follows:

6.667 +/- acres on East Broad Street

The undersigned below, making application for Planning Commission action, has complied with the Official Code of Georgia Section 36-67A-1, et.seq, Conflict of Interest in Zoning Actions, and has submitted or attached the required information on this form as provided.

All individuals, business entities, or other organizations' having a property or other interest in said property subject of this application are as follows:

Have you as applicant or anyone associated with this application or property, within the two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to a member of the Newnan City Council or a member of the Newnan Planning Commission?    Yes                     No

If YES, please complete the following section (attach additional sheets if necessary):

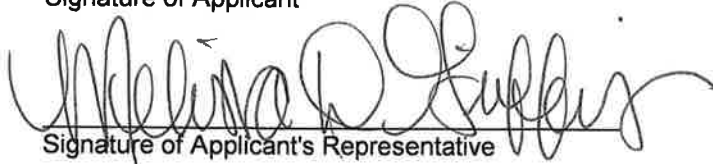
Name and Official Position of Government Official	Contributions (List all which aggregate to \$250 or more)	Date of Contribution (Within last 2 years)

I do hereby certify the information provided herein is both complete and accurate to the best of my knowledge.

\_\_\_\_\_  
Signature of Applicant

KURT ALEXANDER

Type or Print Name and Title

  
Signature of Applicant's Representative

MELISSA D. GRIFFIS, ESQ.

Type or Print Name and Title

Karen Rebeor 4-25-19

Signature of Notary Public

Date



*Business entity may be a corporation, partnership, limited partnership, firm, enterprise, franchise, association, trade organization, or trust while other organization means non-profit organization, labor union, lobbyist or other industry or business representative, church, foundation, club, charitable organization, or educational organization.*

**TAB 7**

**Property Owner's Authorization**



City of Newnan, Georgia  
Attachment C  
**Property Owner's Authorization**

---

---

The undersigned below, or as attached, is the owner of the property which is the subject of this application. The undersigned does duly authorize the applicant named below to act as applicant in the pursuit of a rezoning of the property.

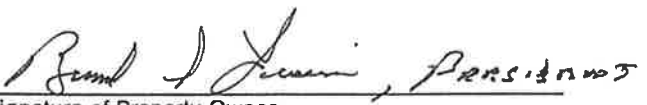
Name of Property Owner BROAD STREET FORUM, INC.

Telephone Number 502-548-0272

Address of Subject Property 57 East Broad Street and lot on East Broad Street, Newnan, GA

---

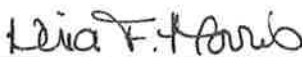
I swear that I am the owner of the property which is the subject matter of the attached application, as it is shown in the records of Coweta County, Georgia.

  
Signature of Property Owner

Personally appeared before me

---

who swears the information contained in this authorization is true and correct to the best of his/her knowledge and belief.

  
Notary Public

4/25/2019  
Date

(Affix Raised Seal Here)



**TAB 8**

**Authorization of Attorney**



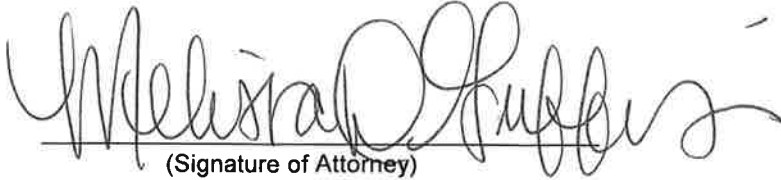
City of Newnan, Georgia  
Attachment D  
**Attorney's Authorization**

---

---

**NOTE:** *If an attorney-at-law has prepared this application, please fill out the information below:*

I swear as an attorney-at-law, I have been authorized by the owner(s) to file the attached application for a rezoning of property.

  
(Signature of Attorney)

Name of Attorney Melissa D. Griffis, Esq.

Address 32 South Court Square

Newnan, GA 30263

Telephone (770) 253-3282

Date April 25, 2019



**TAB 9**

**Community Impact Study  
(To be submitted separately)**

**TAB 10**

**Filing Fee**

**(\$661.55 to the City of Newnan)**

**TAB 11**

**Rezoning Checklist**



**City of Newnan, Georgia**  
Attachment E  
**Rezoning Checklist**

---

---

The following is a checklist of information required for the submittal of a rezoning application. The Planning & Zoning Department will not accept an incomplete application.

- Completed application form
- Letter of intent
- Names and addresses of all owners of all property within 250 feet of the subject property
- Legal description of property
- Certified plat
- Completed Attachment A — Proffered Conditions (if applicable)
- Completed Attachment B — Disclosure of Campaign Contributions & Gifts (if applicable)
- Completed Attachment C — Property Owner's Authorization (if applicable)
- Completed Attachment D — Attorney's Authorization (if applicable)
- Community Impact Study (if applicable)
- Filing Fee in the form of a check payable to the **City of Newnan**

**Note:** Please attach this form to the filing application.

# THE DISTRICT at NEWNAN

City of Newnan, Coweta County, Georgia

## DEVELOPMENT SUMMARY REPORT

### DEVELOPER:



**Contact: Kurt Alexander**  
678-244-1544  
7100 Peachtree Dunwoody Rd., NE  
Atlanta, GA 30328

### PROJECT TEAM: STUDIO ARCHITECTS, Inc

Architecture  
Contact: Greg Clever  
770-212-2300  
1000 Marietta St., NW  
Suite 244  
Atlanta, GA 30318

### Eberly & Associates

Civil Engineer  
Contact: Michael Wright  
678-287-4733  
1852 Century Place  
Suite 202  
Atlanta, GA 30345

### Land Design and Consulting

Landscape Architecture  
Contact: Michael Streger  
678-503-0390



JUNE 4, 2019



# TABLE OF CONTENTS

## I. PROJECT NARRATIVE

- Location 3
- Context 4
- Community Vision 5
- Project Narrative 6
- Requested Modifications 7

## II. MASTER PLAN

- Master Concept Plan 8
- Survey 9
- Proposed Design Standards I 10
- Proposed Design Standards II 11
- Proposed Design Standards III (landscape) 12
- Land Use Plan 13
- Landscape Plan I 14
- Landscape Plan II 15
- Utility Narrative I 16
- Utility Narrative II 17
- Street Section 18

## III. Architecture and Design Guidelines

- Design Goals 19
- Existing Context 20
- Massing and Placemaking 21
- Massing and Placemaking 22
- Massing and Placemaking 23
- Massing and Placemaking 24
- Materials and Details 25
- Materials and Details 26
- Unit Plans 27
- Unit Plans 28
- Typical 2 Bedroom Finishes 29
- Typical Interior Finishes - A 30
- Proposed Unit Finishes - B 31
- Proposed Unit Finishes 32
- Typical Amenity Finishes 33
- Typical Landscape/Hardscape 34
- Comparable Development - The District at Duluth 35

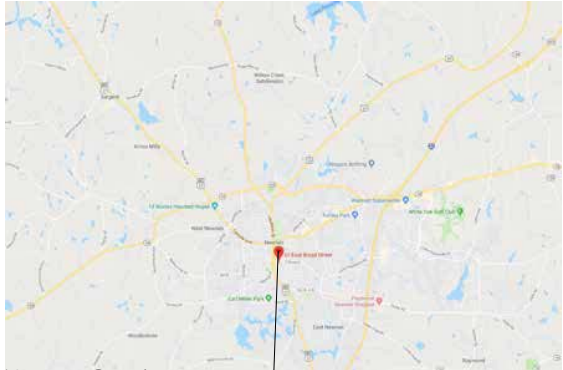


I. PROJECT NARRATIVE

# LOCATION



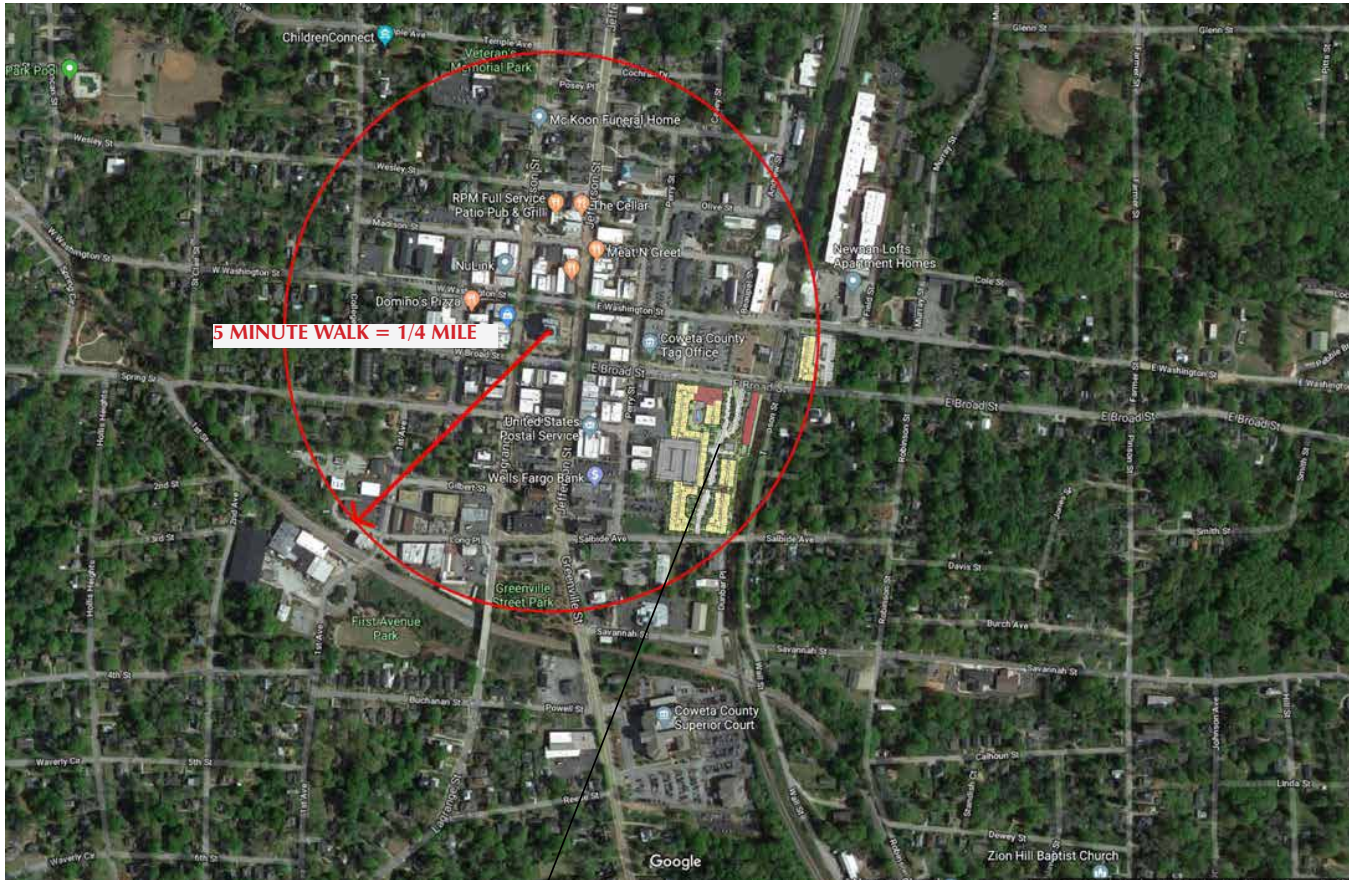
Proposed Development Location



Newnan, Georgia

Proposed Development Location

Newnan, Coweta County, Georgia



**Proposed Development**

## I. PROJECT NARRATIVE

### CONTEXT

The Village in Newnan is a 6.7 acre mixed-use development located on the original R.D. Cole Manufacturing site, now referred to as the Caldwell Tanks Site and a 1 acres parcel bounded by East Broad Street, East Washington Street and the Atlanta and West Point Railroad right of way.

The 2014 Newnan Livable Centers Initiative Final Report established long term goals for preservation and redevelopment of the property “as a mix of land uses that would capture a large portion of the area’s longer term retail and residential demands. A mixed use development program would benefit the Downtown area by providing new goods and services for existing residents and workers, adding more 24 hour life and spending power, creating more of a critical mass of new residents in close proximity”.

The development proposal will renovate and reuse the late 1800’s office building and the attached 3 story warehouse, as well as the construction of 348 luxury apartment homes organized around a new street between E Broad Street and Salbide Avenue, and a parking deck. The plan proposes commercial frontage on East Broad Street, which accommodate the community leasing and amenity functions, to close the gap between existing businesses to the east of the property and the Caldwell Office building.

The proposed community is within a 5 minute walk to the Court House Square, and will make a significant contribution to the goals of the LCI by adding more spending power and creating a more critical mass of new residents in close proximity to the vibrant business district.

Building typology consists of the adaptive reuse of historic structures, three and four story residential buildings, commercial frontage on East Broad Street with residential above. Parking is achieved in a multi-level deck, surface and individual garage spaces.



## URBAN DESIGN + LANDSCAPE

### DESIGN PRINCIPLES

Illustrated and described below are the five design principles that guided the master planning process.



### CONNECTIVITY

- Based on existing grid network, enhance street connectivity to reduce congestion and create a coherent system
- Pedestrian network is extensive and welcoming
- Bicycle use encouraged by safe street designs and amenities
- Regional and local transit are encouraged to reduce auto use

### OPEN SPACE

- Well developed system of outdoor spaces encourages pedestrian activities
- Central park for recreation and social gathering
- Semi-public courtyards are provided for residential recreation and natural resource preservation
- Buildings and spaces are well-linked for a coherent and holistic approach

### COMPACTNESS

- Mixed-use and flex building fabric is the glue which holds the project together
- Adjacency of services and housing to de-emphasize automobile usage
- "Park-once" facilities reduce multiple auto trips

### DIVERSITY

- Quality architectural fabric reflects a range of regional traditions
- Variety of housing types and income levels
- Public spaces, variety of uses and activities offer vitality and a well-developed public realm
- Mixture of housing and retail to create economic vitality and a true residential community

### SUSTAINABILITY

- Stormwater and irrigation systems to capture and reuse water
- Drought-resistant native plants integrated to support outdoor networks
- Close access to regional transit facilities promotes multi-modal functions
- Bicycle and pedestrian systems connect all land uses



This is for conceptual purposes only; not an actual development proposal  
 Figure 7h: Caldwell Tanks Site  
 Concept Plan C

## II. MASTER PLAN

# COMMUNITY VISION

An established series of design principles provide a framework of goals that the redevelopment plan seeks to fulfill. In addition, conceptual design charrettes for the site provide substantial input to the community's vision for the property. The Design Team determined that the LCI Concept C met many of the goals established in the Urban Design Framework and based the development plan on the concept.

### CONNECTIVITY

The plan builds and strengthens an urban block form by connecting East Broad to Salbide Avenue. The new street creates a pedestrian friendly streetscape that encourages walkability by providing a safe, welcoming design that is anchored with a District Green on the south end and a District Square on the north end. The proposal includes accommodating a future LINC connection between E. Washington and E. Broad Streets.

### OPEN SPACE

The plan creates an urban green (District Green) on East Broad Street, across from the historic Train Station that creates an inviting front door to the redevelopment and encourages public and pedestrian interaction for residential and commercial uses. The ability for pedestrians to feel comfortable walking on these frontages encourages and enhances commercial viability for businesses. A smaller Square on Salbide Avenue provides a similar opportunity for residents and pedestrians to socialize in a smaller, more intimate setting, within the context of the street. All new and existing street frontage will be upgraded to Newnan sidewalk standards and provide additional gathering and public art opportunities.

### COMPACTNESS

The mixed use aspects of this community enhance pedestrian activity within, as well as to promote walkability from the development to/from the Courthouse. Since the new residents will be less than a 5 minute walk to the courthouse, hundreds of new households will help energize core business and civic events, with minimal need for additional vehicular accommodation.

### DIVERSITY

The proposed architectural vernacular is reflective of Newnan's heritage, but makes no attempts at historic reproduction. Rather, design is based on appropriate scale, massing and articulation of elements that creates original architecture that is both reflective and timeless. A wide variety of apartment size and style ensures a diverse demographic of residents. By adding to the urban fabric and sense of place of Newnan, the proposed community provides a unique opportunity for existing residents to downsize in place or young adults to return to Newnan and stay close to their families.

### SUSTAINABILITY

The current use does not provide any storm water control for water quality or flow, which will be addressed in the proposed development. The ability to use drought resistant and native plants can reduce infrastructure needs and enhance quality of life attributes such as songbirds and butterflies. A reduced reliance on automobiles and walkable neighborhood create healthful benefits to the community.

## I. PROJECT NARRATIVE

# PROJECT NARRATIVE

The District is a proposed Mixed-Use development comprised of adaptive reuse commercial space and residential apartment (for rent) units. Accessory uses include leasing/residential service and loading, a multi level parking deck, attached residential garages/storage, residential surface parking, leasing and associated indoor amenities (including but not limited to fitness, business office, coffee bar, dog wash, bike repair room), swimming pool, outdoor cabana, maintenance area and trash compactor. The proposed development will utilize to MXD zoning (with exceptions), DDO and the design guidelines outlined in Appendix A -Standards for Non-Residential New Construction and Rehabilitation, Article 5 - Design Review Standards and Procedures as well as all applicable codes including Newnan Amendments and IBC 2012, Appenix D, Fire Districts.

The property will be owned and operated by a single entity (the Residential Group and/or it's partners and affiliates) and no division of land by easement or legal entity (HOA) will occur.

### PROJECT OVERVIEW:

Proposed Site Area: 6.7 acres

Proposed Zoning: MXD - Mixed Use Development District /  
DDO - Downtown Design Overlay District

348 Residential units total

5,600 sf adaptive reuse - R.D. Cole office

13,500 sf adaptive reuse - existing warehouse

579 total parking spaces (residential: 1sp/bdrmm + 15% guest)

215 - st/1bdrmm = 215 spaces

133 - 2 bdrms = 266 spaces

guest /commerci = 98 spaces

Required Open Space: 43,562 sf (15%)

50% reduction; Sec 6-22: 21,781 sf

Areas subject to final survey.



SALBIDE AVENUE ELEVATION

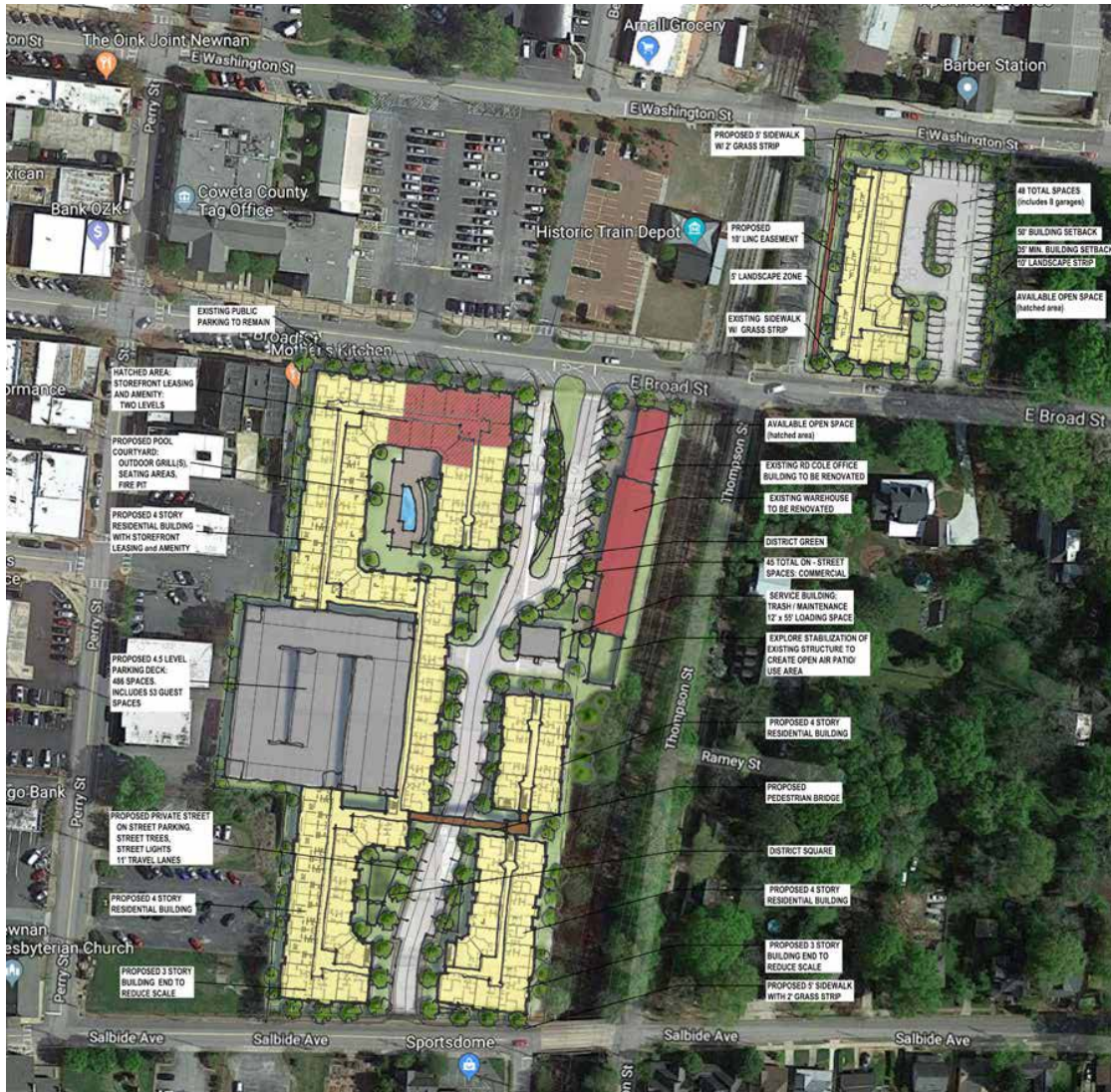
THE DISTRICT at NEWNAN

I. PROJECT NARRATIVE

# REQUESTED MODIFICATIONS

Modifications are requested to fulfill the design objectives of this development as shown on the Master Concept Plan and individual plan sheets included in this report.

<b>The District at Newnan</b>					
Newnan, GA					
4/25/2019					
Current Zoning: CBD - Commercial Business District					
Proposed Zoning: MXD - Mixed Use Development District / DDO - Downtown Design Overlay District					
Site Area: 290,415 sf/6.667 ac					
Open Space: (15%) 43,563; 50% reduction per SEC 6-22: 21,781 sf					
Residential Construction: three and four story ; type V. Accessory use					
Commercial Construction: adaptive reuse					
Precast Parking Deck: type I, non-sprinklered, naturally ventilated					
<b>Zoning Review Matrix</b>					
<i>item</i>	<i>section</i>	<i>requirement</i>	<i>proposed</i>	<i>pg</i>	<i>reference/notes</i>
Tree Preservation/Landscaping	sec 5f	35' buffer	10' buffer w/ planted berm/fence		LINC easement reduces lot with



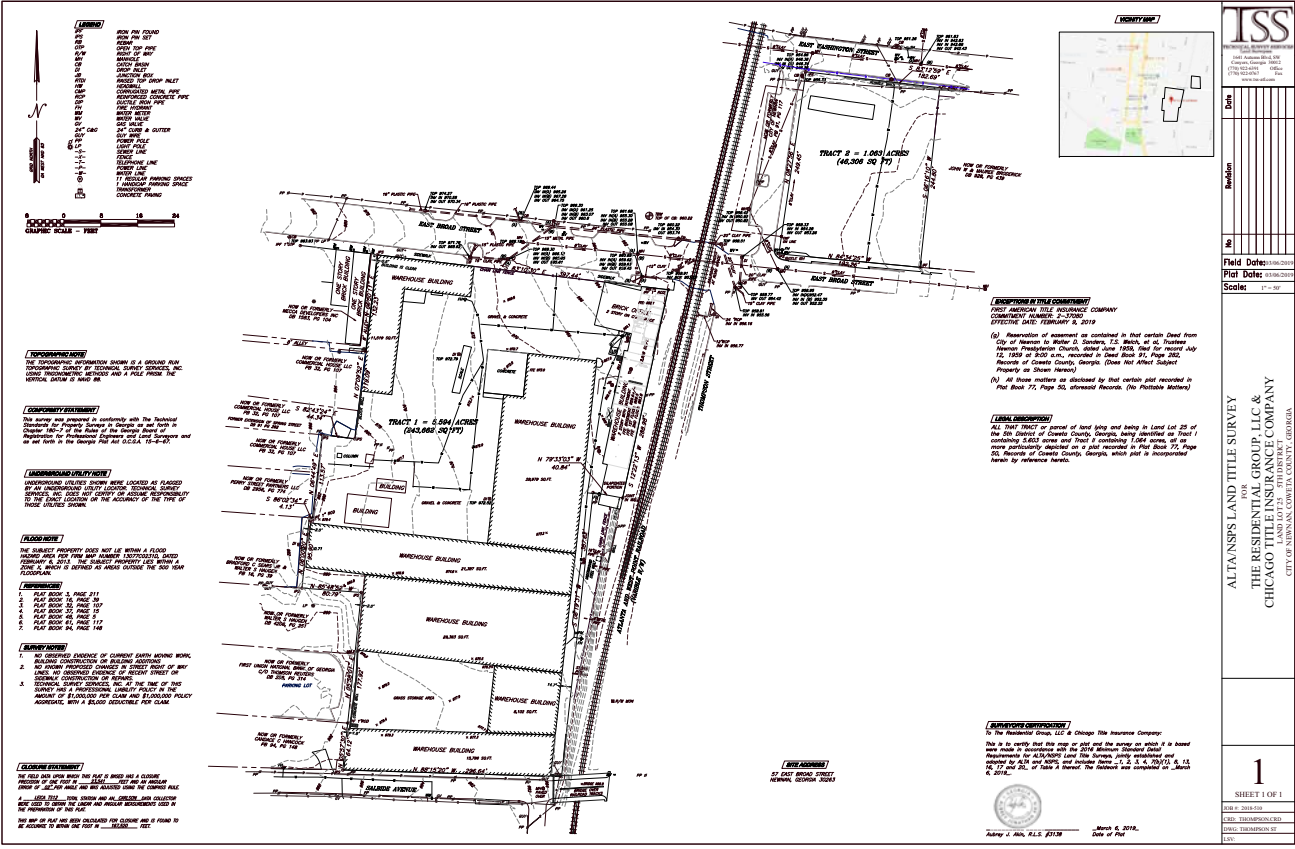
II. MASTER CONCEPT PLAN

# MASTER CONCEPT PLAN

The plan shown opposite provides a general overview of the proposed community. The Master Concept Plan has been broken into component plans to make each category easier to read and identify plan elements.

II. MASTER CONCEPT PLAN

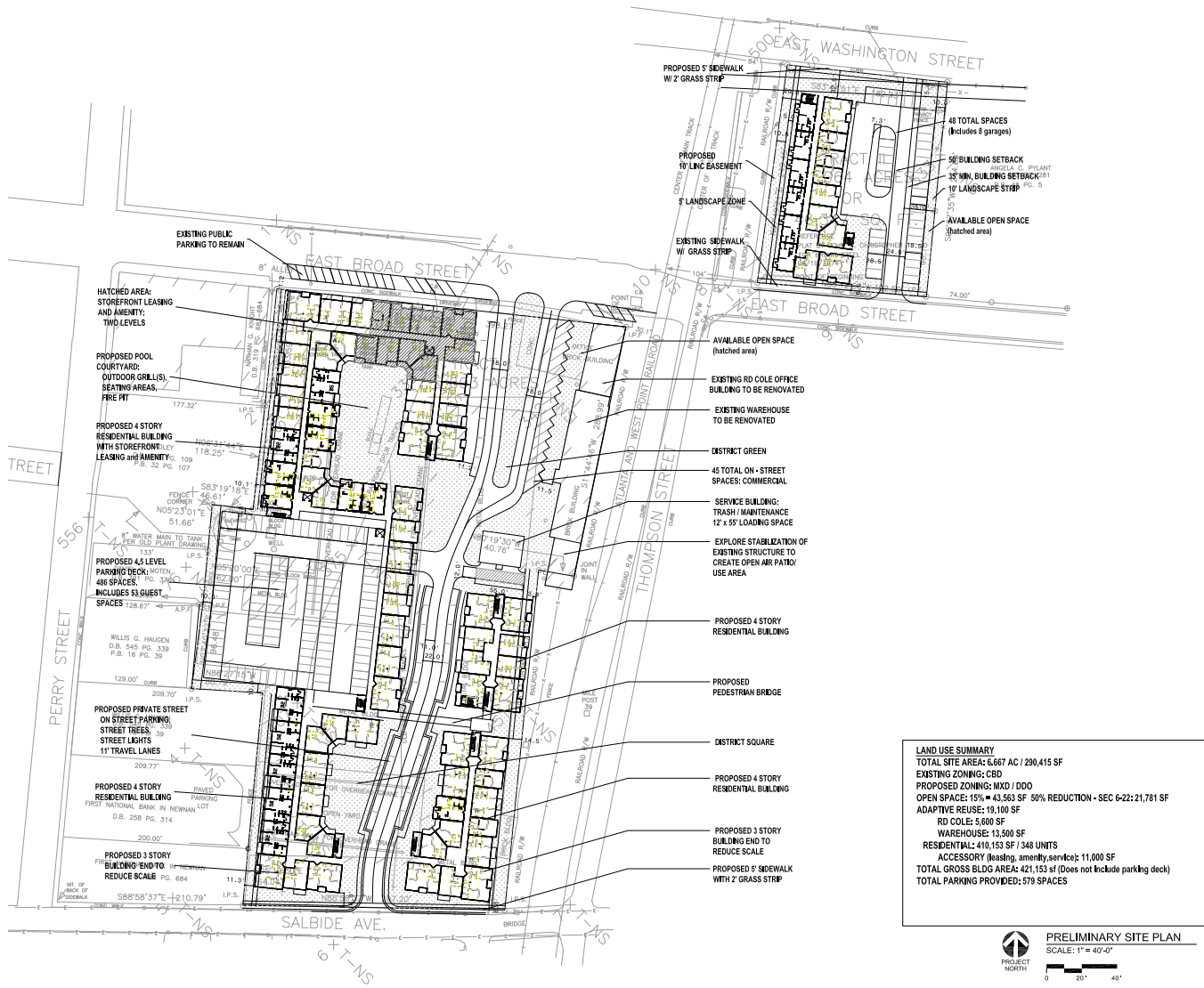
SURVEY



Legal Description  
 ALL THAT TRACT or parcel of land lying and being in Land Lot 25 of the 5th District of Coweta County, Georgia, being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly depicted on a plat recorded in Plat Book 77, Page 50, Records of Coweta County, Georgia, which plat is incorporated herein by reference hereto.



THE DISTRICT at NEWNAN



**II. MASTER CONCEPT PLAN**

**PROPOSED SITE DESIGN STANDARDS**

Proposed Site Design Standards as shown on the Master Concept Plan and individual plan sheets included in this report.

Modifications are requested to fulfill the design objectives of this development as shown on the Master Concept Plan and individual plan sheets included in this report (see pg. 7 for specific modifications and pg. 11 & 12 for proposed design standards).

II. MASTER CONCEPT PLAN

# PROPOSED SITE DESIGN STANDARDS

The District at Newnan					
Newnan, GA					
4/25/2019					
Current Zoning: CBD - Commercial Business District					
Proposed Zoning: MXD - Mixed Use Development District / DDO - Downtown Design Overlay District					
Site Area: 290,415 sf/6.667 ac					
Open Space: (15%) 43,563; 50% reduction per SEC 6-22: 21,781 sf					
Residential Construction: three and four story ; type V. Accessory use					
Commercial Construction: adaptive reuse					
Precast Parking Deck: type I, non-sprinklered, naturally ventilated					
Zoning Review Matrix					
item	section	requirement	proposed	pg	reference/notes
Div I	Restrictions that apply in General				
	sec 3.7 (a)(2, 3)	common recreation of 100 sf per du	tbd		brownfield reclamation; site limitations. As agreed to by the Planning and Zoning Director
	sec 3.7 (e) (3-d,e)	40% primary/60 % secondary materials	average 30%/70% over ther entire structure		design flexibility; ability to use higher % primary on select facades w/o penalty
	sec 3.7 (e) (4, table 3a)(5)	min unit sizes	maintain 800 sf minimum average		
	sec 3.7 (e) (8)	impervious surface	loft -style exemption		
Div IV	Ground Floor Residential				
	sec 3.74 (c)(1)	ground floor residential	special exception		special exception requested
	sec 3.74 (c)(5)	translucent glass/film	alternate methods		tbd
Div II	Accessory Uses and Structures				
	3.12(d)	awnings/canopies 5' max	tbd		detail provided with elevation studies for approval
	3.12(e)	balconies 6' max	tbd		detail provided with elevation studies for approval
	sec 3.12(q)(1)b	out building coverage	parking deck; as needed		footprint less than allowed; total sf exceeds allowed
Div II	Mixed Use Developments				
	sec 6.16(b)	interior streets meet City of Newnan stds	11' drive lane		traffic calming; private street
	sec 6.16(c)	sidewalk standards	to vary with conditions; meet the intent		combined use of sidewalk/tree lawn and pavement/planter beds
	sec 6.16(cd)	parking calculations by use	no parking requirement commercial use		table 7-A Minimum Off Street Parking Spaces Required by use
	sec 6-20(c)	street trees 20' OC on interior/perimeter streets	30' OC or as specified by registered Landscape Architect		20' too close fore proper branching establishment
	sec 6-21(5)	15% site area in open space per table 6-B	7.5 - 15% of site area		table 6-B appears to create requirement exceeding site requirement
	sec 6-21(5)(c)	max 50% landscaped area for open space	100% allowed for open spaces		
	sec 6-22(a)	reduction by 50% open space requirement	use this exemption		proposed LINC easement adjacency
Article 7	Parking and Loading				
	sec 7.5 table 7A	general office/commercial 1sp/250sf	no parking requirement		public parking available in close proximity
	sec 7.8(1)	parking on same lot required	min 1sp/du on same lot; remaining on separate lot		the development spans E Broad in two parcels
Div III	Loading				
	7.15 table 7-D	two - 10'x50' berths	loading from private street; no dedicated area		adaptive reuse of historic bldgs prohibits separate loading space(s)
Tree Preservation/Landscaping					
	sec 1	SDF = 16 x 6.7ac = 107.2 SDF	tbd	TPL-13	brownfield reclamation largely devoid of trees; site use may require reductionand/or off-site SDF
	sec 5 2b	8' min back curb to back curb	5' min between adjacent parking rows		LINC easement reduces lot with
	sec 5f	35' buffer	10' buffer w/ planted berm/fence		LINC easement reduces lot with

II. MASTER CONCEPT PLAN

**PROPOSED SITE  
DESIGN STANDARDS**

Newnan - Landscape Requirement Matrix				
REQUIREMENTS	NOT FULFILLED	PARTIALLY FULFILLED	TREE ORDINANCE	ZONING ORDINANCE
<b>Landscape Planting Strip Requirements</b>				
Landscape plantings shall be provided in a Landscape Strip of at least 10' adjacent to any street right of way abutting the property and running the length of the entire property frontage.		Due to the limited space on many edges of the property, fulfillment of landscape strip requirements will be dealt with a case by case scenario.	Sec.10-85 (2) d. 2	
One tree per 35 linear feet		Due to the limited space on many edges of the property, fulfillment of landscape strip requirements will be dealt with a case by case scenario.	Sec.10-85 (2) d. 5	
Ten shrubs per 35 linear feet		Due to the limited space on many edges of the property, fulfillment of landscape strip requirements will be dealt with a case by case scenario.	Sec.10-85 (2) d. 6	
<b>Landscape Buffer Planting Requirements</b>				
Large canopy trees with a minimum height of 8' planted and a minimum caliper of 2" planted 31' to 50' buffer width, and one tree per 350 sq. ft. of buffer.		Planting material satisfies 35' buffer requirement, placed into a 10' buffer on Tract 2 eastern side.	Sec.10-85 (2) f. 3	
Small trees are required to fulfill from no less than 20% to no more than 30% of the required number of trees.		Planting material satisfies 35' buffer requirement, placed into a 10' buffer on Tract 2 eastern side.	Sec.10-85 (2) f. 3	
Evergreen trees are required to fulfill at least 50% of the required trees planted in buffers greater than 30'.		Planting material satisfies 35' buffer requirement, placed into a 10' buffer on Tract 2 eastern side.	Sec.10-85 (2) f. 3	
Evergreen shrubs, minimum of 24" in height, variety that can reach 4' to 5' within 3-5 years planted 31'-50' buffer width, and one tree per 350 sq. ft. of buffer.		Planting material satisfies 35' buffer requirement, placed into a 10' buffer on Tract 2 eastern side.	Sec.10-85 (2) f. 3	
<b>Article 6 - Master Planned Developments</b>				
Street Trees 20' OC on interior/perimeter streets		40' OC or as specified by registered Landscape Architect.		Division 2 - Sec. 6-20©



**II. MASTER CONCEPT PLAN**

**LAND USE PLAN**



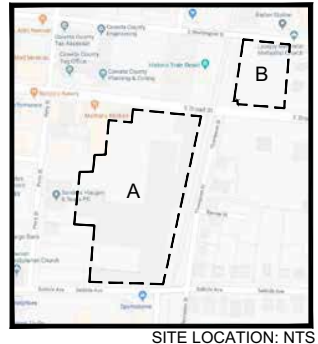
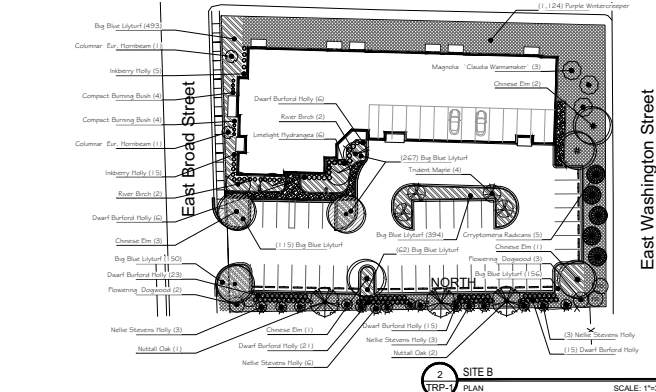
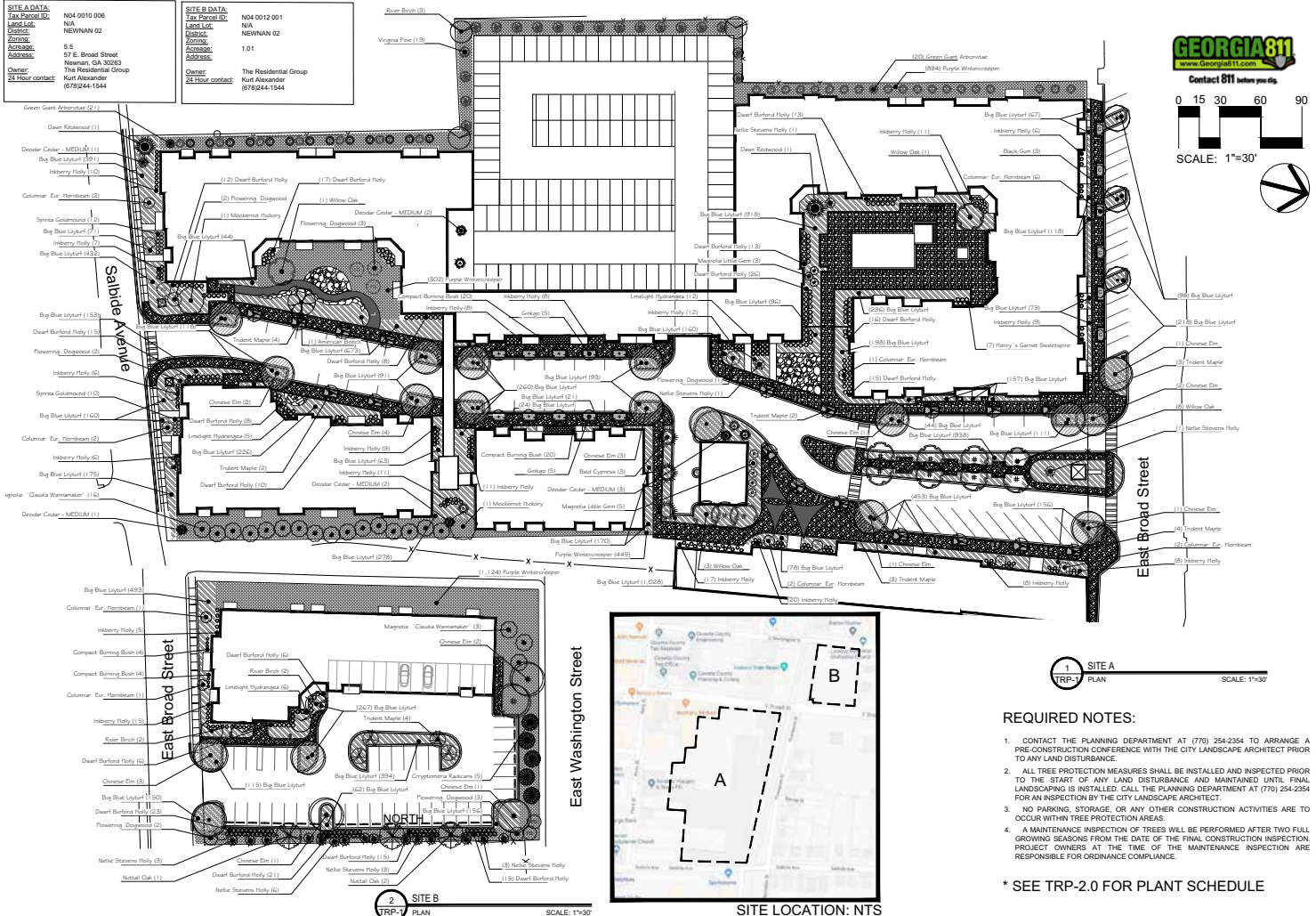
- COMMERCIAL**  
 RD COLE: 5,600 SF  
 WAREHOUSE: 13,500 SF  
 LEASING/AMENITY: 11,000SF
- RESIDENTIAL**  
 410,153 SF / 348 UNITS
- DECK/SERVICE**  
 486 SPACES  
 TRASH / RECYCLING/MAINTENANCE
- LINC EASEMENT**  
 25,000 SF DEDICATION
- PRIVATE STREET**  
 28,394 SF

The area calculations provided are based on the best, currently available information and are subject to minor variations as additional information is gathered and processed.

II. MASTER CONCEPT PLAN

LANDSCAPE PLAN

<b>SITE A DATA:</b>	N04 0010 006	<b>SITE B DATA:</b>	N04 0012 001
File Number:	N/A	File Number:	N/A
Address:	NEWMAN 02	Address:	NEWMAN 02
Zone:	S-5	Zone:	1.01
Owner:	57 E. Broad Street Newman, GA 30055 The Residential Group Kurt Alexander (878)444-1544	Owner:	The Residential Group Kurt Alexander (878)444-1544
24 Hour contact:		24 Hour contact:	



1 SITE A  
TRP-1 PLAN SCALE: 1"=30'

- REQUIRED NOTES:**
- CONTACT THE PLANNING DEPARTMENT AT (770) 254-2354 TO ARRANGE A PRE-CONSTRUCTION CONFERENCE WITH THE CITY LANDSCAPE ARCHITECT PRIOR TO ANY LAND DISTURBANCE.
  - ALL TREE PROTECTION MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO THE START OF ANY LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. CALL THE PLANNING DEPARTMENT AT (770) 254-2354 FOR AN INSPECTION BY THE CITY LANDSCAPE ARCHITECT.
  - NO PARKING, STORAGE, OR ANY OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
  - A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
- \* SEE TRP-2.0 FOR PLANT SCHEDULE

The area calculations provided are based on the best, currently available information and are subject to minor variations as additional information is gathered and processed.

II. MASTER CONCEPT PLAN

LANDSCAPE PLAN

PLANT SCHEDULE table with columns: QTY, COMMON NAME / BOTANICAL NAME, SIZE, CONTAINER, HEIGHT. Includes sections for DECIDUOUS TREES, EVERGREEN TREES, FLOWERING TREES, SPECIMEN REPLACEMENT, SHRUBS, and GROUND COVERS.

TREE/SHRUB REQUIREMENTS:

Site data and requirements tables including: SITE DATA (Required/Total), MINIMUM LANDSCAPE SITE REQUIREMENTS (Per Acre/Total), SITE DENSITY CALCULATIONS, BUFFER REQUIREMENTS, and MINIMUM LANDSCAPE BUFFER REQUIREMENTS.

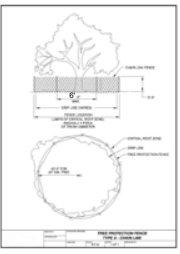
DECIDUOUS / EVERGREEN TREE MIX table showing totals and percentages for Deciduous Tree, Evergreen Tree, and Overall Tree.

SPECIMEN REPLACEMENT FIGURES table with columns: SPECIMEN TREES, SIZE IN INCHES, TREES NEEDED FOR REPLACEMENT AT #.

PERIPHERAL PARKING LOT REQUIREMENTS table with columns: LINEAR FEET, CURB CUT, TREES/CANOPY / SHADE REQUIRED, etc.

LANDSCAPE STRIP REQUIREMENT table with columns: LINEAR FEET, CURB CUT, TREES / SHRUBS, etc.

TREE PROTECTION DETAIL:



GENERAL NOTES: Landscape Intent Requirements, Maintenance Requirements, and Irrigation Requirements. Includes text about tree health, watering, and protection during construction.

- REQUIRED NOTES: 1. CONTACT THE PLANNING DEPARTMENT... 2. ALL TREE PROTECTION MEASURES... 3. NO PARKING STORAGE... 4. A MAINTENANCE INSPECTION OF TREES...

Site data and contact information for NEWMAN 02, including site address, phone number, and email.

The area calculations provided are based on the best, currently available information and are subject to minor variations as additional information is gathered and processed.

## Schematic Civil Narrative

### CIVIL

#### 1.0 GENERAL

- A. The project site is located at 57 Broad Street, Newnan, GA 30263. All of the proposed project site is located within the City of Newnan's jurisdiction. We will submit for building (LDP) permits and approvals from the City of Newnan. Site work includes the work shown and reasonably inferred from the design development drawings. Provide materials, labor, equipment and supervision required to perform the work complete.
- B. The scope of site work includes, but is not limited to the following:
  1. Construction staking and other construction engineering required to control the work.
  2. Erosion and sedimentation control construction.
  3. Temporary groundwater control.
  4. Site preparation, including stripping and undercutting unsuitable subgrade soils (if encountered), rock blasting and removal (if encountered) parking lot and building demolition, and removal from the project lands of materials not to be used for construction.
  5. Site grading, including excavation, filling, compaction, and preparation of subgrades for paving and playfields. Site grading includes cutting and filling onsite, stockpiling and hauling from stockpiles, and other work necessary to construct embankments and excavations as shown and specified.
  6. Construction and building pads and staging areas.
  7. Coordination of temporary utilities.
  8. Installation of the site drainage system complete, including building roof drain laterals.
  9. Installation of water distribution and sanitary sewer system complete, including service laterals.
  10. Construction of curb and gutter, retaining walls, playfields and tennis courts.
  11. Construction of paving.
  12. Striping and traffic control.
  13. Backfilling curbs and islands with approved soils for planting.
  14. Backfilling walls.
  15. Installation and coordination of temporary warning signs, directional signs, barricades and fences required to direct, control and protect the public throughout the construction period.
  16. Coordination of installation of light poles and conduits.

#### 2.0 EROSION CONTROL

- A. Provide labor, material, and equipment for temporary and permanent management practices during the life of the Contract to control erosion, storm water runoff, and pollution through the use of berms, dikes, dams, sediment basins, fiber mats, netting, mulches, grasses, slope drains, temporary silt fences, and other management practices.
- B. The scope of Erosion Control includes, but is not limited to the following:
  1. Conforming to the General NPDES permit.
  2. Provide labor, material, and equipment for temporary and permanent management practices as shown on the plans, as contained in the Erosion, Sediment, and Pollution Control Plan (ESPCP), and as directed by the Owner during the life of the Contract to control erosion, storm water runoff, and pollution through the use of berms, dikes, dams, sediment basins, fiber mats, netting, mulches, grasses, slope drains, temporary silt fences, and other management practices.

3. Coordinate temporary erosion control provisions with permanent erosion control features to assure economical, effective, and continuous erosion, sedimentation, and pollution control throughout the construction and stabilization period.
4. Management practices required are not limited to the measures shown on the plans. Provide additional practices necessitated by actual conditions and methods.
5. Silt and pollution leaving the site and any effects of the release are the sole and total responsibility of the Contractor as Primary, Secondary or Tertiary Permittee or Operator.
6. Provide Subcontractors with a copy of the ES & PC Plan. Post notices requiring Subcontractors to review and comply with the ES & PC Plan.
- C. The plans will be prepared in three (3) phases, Initial, Intermediate and Final Erosion Control Phase:
  1. Initial phase will include the installation of a sediment pond, perimeter Silt fence, Construction Entrance, Truck washout area and implementation of temporary grassing.
  2. Intermediate Phase will include the installation of the inlet traps, grassing, and slope down drains, diversion ditch, and surface roughening.
  3. Final Phase will include final stabilization of grassing with Matting.

#### 3.0 SITE DEMOLITION

- A. Provide labor, material and equipment necessary to remove existing paving, curb and gutter, Storm and sewer pipes, utilities, and site items as required. This includes but is not limited to the existing parking lot, sidewalk, trees, and certain utilities. Remove existing trees and vegetation where indicated on the tree removal/ replacement plan.
- B. Protection of Existing Work: Before beginning cutting or demolition work, carefully survey the existing work and determine the extent of the work. Take necessary precautions to ensure against damage to existing work to remain in place, to be reused, or to remain the property of the City of Newnan. Repair or replace damage to existing work at no additional cost to the Owner. Carefully coordinate the work of this section with other work and construct and maintain shoring, bracing and supports, as required. Ensure that structural elements are not overloaded. Increase structural supports or add new supports as required as a result of cutting, removal, or demolition work performed.
- C. Demolition of structures and site utilities:
  1. Building structure
    - a. Demolition of existing warehouse buildings
    - b. Demolition of existing scale
  2. Sidewalk and Parking areas:
    - a. Demolition existing sidewalk along East Broad Street and Salbide Avenue
    - b. Demolition existing curb along East Broad Street, Salbide Avenue, and East Washington Street
  - c. Demolition of existing gravel lots on site
  - d. Demolition of concrete pad
  - e. Demolition of any existing walls within project site
  - f. Demolition railroad spurs tracks
  - g. Demolition of overhead rails
  - h. Demolition of existing stairs on western portion of property
3. Site utilities:
  - a. Fiber optic/Telephone lines: There may be fiber located within limits of demolition.
  - b. Electric Lines/ Light poles: There are power lines located in the eastern courtyard that will need to get rerouted. Pole on Salbide Avenue will need to be removed and relocated
  - c. Gas Lines: Removal and replacement of gas line serving the existing structure and relocation of gas meter located at the new buildings
  - d. Sanitary sewer lines: Remove all existing sewer lines within the limits of construction.
  - e. Storm Sewer Lines: Remove all existing storm lines within the limits of construction.
  - f. Domestic/Fire Water Line: Removal of existing water lines, fire hydrants, and valves throughout site.

## II. MASTER CONCEPT PLAN

# UTILITY NARRATIVE

#### 4.0 EARTHWORK

- A. The scope of Earthwork includes, but is not limited to the following:
  1. Provide labor, material and equipment for excavating, backfilling, filling, grading and related work.
  2. Earthwork includes, but is not limited to, excavation, filling, compacting and grading in the areas shown on the drawings to obtain the required finished ground surface properly prepared to receive pavements, walks, building floor slabs, utilities, and drainage structures.
    - a. With the installation of the apartment buildings and parking lot, earthwork will be performed to bring all locations to finish grade.
    - b. Handicap accessibility will need to be met which may include re-grading to install additional ramps with handrails.
    - c. Swales will be needed to keep drainage off of building walls
    - d. Retaining walls on site greater than 4 ft will need to be designed and permitted by an engineer licensed in the state of Georgia.
    - e. Fall protection will need to be provided along all retaining walls and at the top of slopes greater than 4:1 through the means of fencing or railing
  - B. The work includes ditching in soil areas of high moisture content to allow the soil to drain prior to making excavations.
  - C. The work includes adjustment of moisture content up or down by discing of soils placed in fills if soil tests show drying to be necessary to meet compaction requirements.
  - D. The work includes spreading topsoils in sufficient quantities to backfill islands, medians, and roadway shoulders and open graded areas.
  - E. The work includes undercutting unsuitable soil materials and replacing with compacted approved soils.
  - F. The work includes stockpiling approved soil material in convenient location and in sufficient quantity for use in backfill of walls.
  - G. The work includes removal from the job of unsuitable, excess materials if pre-approved by Design Professional.
  - H. The work includes importing material, if required, from offsite.

## Schematic Civil Narrative

### 5.1 WATER DISTRIBUTION SYSTEM

- A. Water service will be provided to both site by tapping existing water service in the East Broad Street r/w. Anticipate a 3" domestic service and meter for the southwestern property and a 2" domestic service and meter for the northeastern property. These services shall conform with Coweta County Standards.
1. Provide labor, material, and equipment for the construction of the water distribution system from taps to the public system to building plumbing connection.
  2. Testing and disinfection of the installed system is incidental to the work.
  3. Provide construction staking in accordance with generally accepted practice for layout of underground utilities.
  4. The work includes coordination with building plumbing Contractors and building plumbing plans.
  5. Coordinate responsibilities for installation of meters, vaults, check valves, backflow preventers, taps, valves and appurtenances with the Coweta County Standards if a new tap will be required.
- B. Fire service may need to be upgraded to current code which would include but not limited to an 8" Fire Meter within a vault, 8" DCVA, fire department connection, a post indicator valve located 40' minimum away from the building, and service to the new buildings.

### 5.2 SANITARY SEWERS

- A. Sanitary sewer service will be provided to both properties by tying service into existing service along East Broad Street. to the new building from the existing service on site.
1. Pipe:
    - a. If grading causes less than 3-feet of cover over existing sanitary sewer pipe, it will need to be replaced with ductile iron pipe. Ductile iron pipe shall be centrifugally cast in accordance with ANSI Standard specification A21, Class 50 minimum. Gaskets and fittings for ductile iron pipe: ASTM A74.
    - b. Where sewer line has more than 3-feet of cover C900 PVC gravity sewer pipe may be used. Use PVC gravity sewer pipe that meets ASTM D3034, ASTM F 679, SDR 35. Use gaskets that meet ASTM F 477. Use joints that meet ASTM D 3212
  2. Manholes:
    - a. Construct manholes of precast concrete rings, with cast iron frames and covers, per ASTM C478 in accordance with the Drawings. Make the invert channels smooth and semicircular in shape conforming to the inside of the adjacent sewer section. Make changes in direction of flow with a smooth curve of as large a radius as the size of the manhole will permit. Make changes in size and grade of the channels gradually and evenly. Form the invert channels directly in the concrete of the manhole base, or build up with brick and mortar, or be half tile laid in concrete. Make pipe connections to manhole using water stops, standard O-ring joints, special manhole couplings, or make in accordance with the manufacturer's recommendations. Make the floor of the manhole outside the channels smooth and slope toward the channels not less than one inch per foot nor more than two inches per foot.
    - b. Use grey cast iron manhole frames and covers, in accordance with ASTM A48. Use cast iron conforming to Federal Specifications QQ-I-652 of good quality and such character as to make the metal of the casting strong, tough, and of even grain.
    - c. Use frames and covers, smooth, free from scale, lumps, blisters, and sand holes and defects of every kind which would make them undesirable for the use for which they are intended. Do not plug or fill. Give castings one heavy coat of good grade asphalted paint at the foundry. Use solid covers identified with the word "sewer" cast in surface.

### 5.3 STORM SEWER

- A. Storm water management will be in accordance with the City of Newnan regulations. Storm water management will account for all facilities on site. The new building roof drains will be collected, routed, and drained into an onsite pipe system. Storm water flows will be collected through HDPE piping and directed to a detention/retention system located under the proposed drives for both sites. This storm water management system will retain the first 1" of rainfall. The anticipated design for the site is to provide a bio-retention systems in landscape areas throughout the site. The discharge from our storm management system will flow into the adjacent area to the southeast portion of the site. The Contractor is to remove all debris and trash from existing storm infrastructure and detention pond remaining on site. Material to be used for construction consists of the following:
1. Reinforced concrete pipe:
    - a. Use pipe conforming to ASTM Specification C-76, Class III unless otherwise specified or shown on the drawings.
    2. Catch basins, drop inlets, junction boxes, and spillways:
      - a. Structures: concrete and/or brick as detailed on contract Drawings.
      - b. Concrete: conforming to the Site Concrete Section of these Specifications, minimum 28-day compressive strength of 3,000 psi.
      - c. Brick: hard No.1 manufactured of clay or shale of uniform standard commercial size with straight, parallel edges and square corners, burned uniformly hard entirely through with uniform color and uniform abrasion, ASTM C32.
      - d. Mortar: ASTM C270, type M.
      - e. Sand: clean and sharp, and free from deleterious substances and containing not more than five (5) percent by volume of material passing 100 mesh sieve.
      - f. Coarse aggregate: crushed stone of solid composition, free from dirt and debris, ASTM C33.
      - g. Gratings: grey iron casting, ASTM A-48.
      - h. Keep structures clean of all fallen masonry, silt, debris, and other foreign matter.
      - i. Precast concrete structures: ASTM Specification C478.
  - 5.4 TELEPHONE / ELECTRICAL
    - A. Telephone/ fiber optic:
      1. Run conduit to the proposed buildings.
      - B. Electrical:
        2. Connect to power source on site to the proposed transformer. Run service from relocated transformer to within 5' of new building, adjacent to electrical room.
        3. Proposed transformer to sit on concrete pad and located in gravel courtyard

### 6.0 SITE PAVING

#### 6.1 PARKING LOT ASPHALT PAVING

- A. There will be additional new car spaces on both project sites along principal driveways. These areas will be constructed with a light duty asphalt paving (6" GAB, 2" binder, 1.5" topping). Principal driveways along eastern portion of the sites will be constructed with heavy duty paving (8" GAB, 2" binder, 1.5" topping); the construction of the parking spaces and principal drives should conform to the following standards:
1. Paving Base Course: Crushed stone base, primed as specified in Georgia D.O.T. Section 310, unless otherwise specified on the plans.
  2. Use materials for hot mix asphalt concrete construction as specified in Georgia D.O.T. Section 400.
  3. Use paving subbase of select soils from stockpiles and site grading operations.
  4. Thermoplastic traffic stripe: Georgia DOT Section 653.
  5. Use materials for shoulder paving that conform to those used in existing shoulders approved by Georgia D.O.T

## II. MASTER CONCEPT PLAN

# UTILITY NARRATIVE

### 6.2 CONCRETE PAVING, CURBING AND WALKS

- A. The proposed site construction is anticipated to have concrete walks and handicap ramps/spaces, and concrete paved dumpster pad. The concrete paving at ADA spaces and dumpster pad shall be 4" base coarse, 6" concrete (4000 psi, min.). The concrete paving for sidewalks and curb and gutter should conform to the following:
1. Use Portland Cement Type I or Type III High Early Strength Cement, minimum 4000 psi strength at 28 days, 4" maximum slump unless otherwise shown on the drawings.
  2. Use course aggregate Class A crushed stone, size 467, 67 or 57.
  3. Use dowels conforming to AASHTO: M31.
  4. Joint Fillers and Sealers - Georgia Department of Transportation, Section 833.

## II. MASTER CONCEPT PLAN

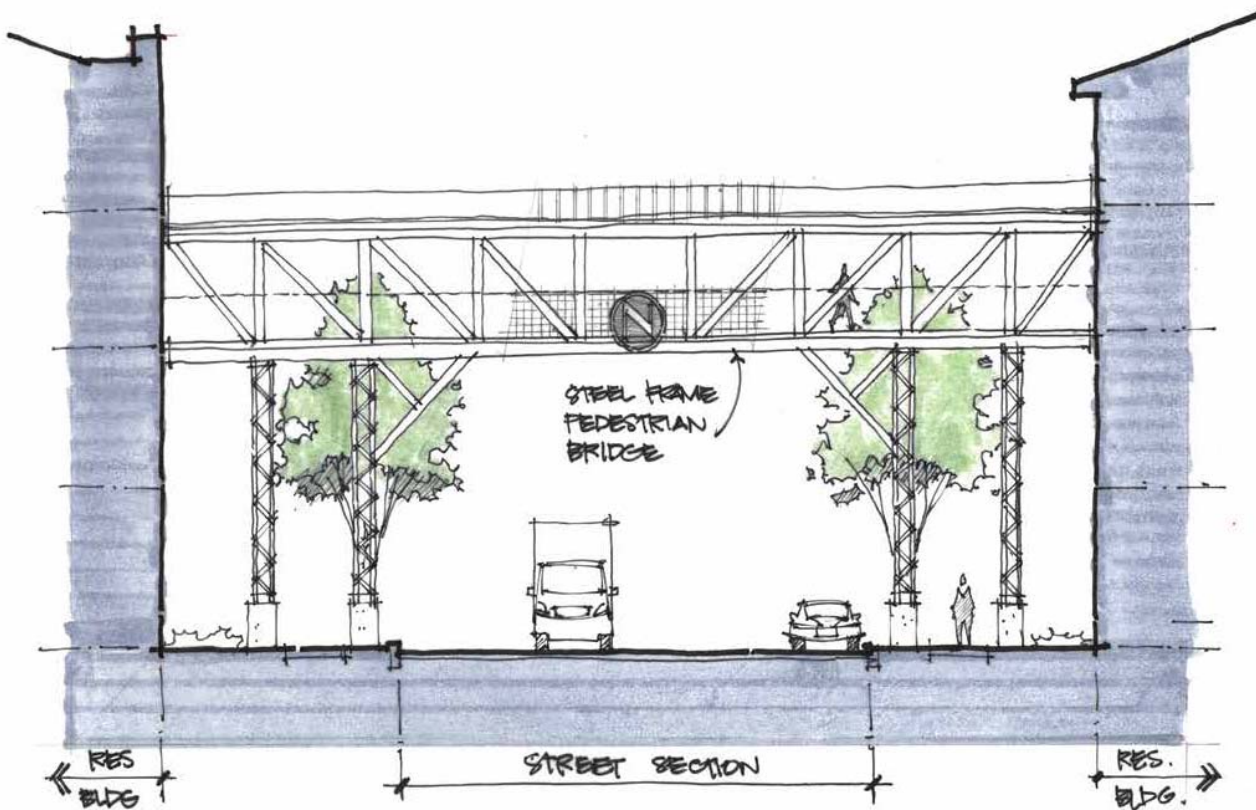
# STREET SECTION

The height to width ratio of buildings to the separation across a street contributes significantly the character of the street and determines the level of enclosure created by the buildings. The threshold when pedestrians first perceive enclosure is a 1:4 ratio of building height to thoroughfare width; typical of low density environments. In denser urban context, height to width ratios between 1:3 and 1:2 create an appropriate enclosure on a thoroughfare. Street trees may be used to provide a similar sense of definition and enclosure.

The District provides a varying street width that ranges from 1:1.3 and 1:1.7 anchored by broad courtyard spaces at each end of the proposed new street.

<sup>1</sup> Ch. 4, A framework for walkable urban thoroughfare design; Greenville, SC zoning ordinance.

The details of the pedestrian bridge will harken back to the industrial heritage of the site, with steel detailing indicative of the Caldwell warehouse structures. The bridge and similar features will add to the vocabulary that blends these historical site characteristics with downtown Newnan.



PEDESTRIAN BRIDGE ACROSS THE PROPOSED STREET



AREA OF INFLUENCE

### III. ARCHITECTURAL and DESIGN GUIDELINES

## ARCHITECTURE

MASSING and PLACEMAKING

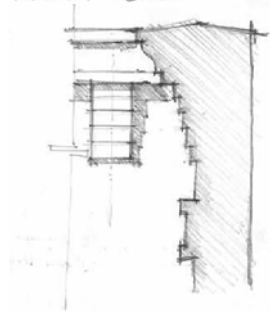
#### DESIGN GOALS:

- The Architectural character is based on influences from 'Main Street' character, and pedestrian oriented examples found throughout the downtown of small communities across America. Variation along facades emulates a Row-house or Brownstone quality. Elements such as porches/stoops, canopies, lighting and signage foster a pedestrian scale.
- The building materials of brick, cementitious siding and metal canopies provide a consistent vocabulary to the color and texture of the building. With a variety of forms in the building design, it is important not to select too many colors which could create visual chaos in the design. The building designs strive to be simple, clean and timeless.
- The graphic to the left depicts the **area of influence** as defined by the downtown overlay guidelines. The new architecture will borrow patterns from the existing context, such as the prevalence of 2 and 3 story brick clad parapet storefront throughout downtown Newnan.
- Appropriate building massing and materials are adapted to the four story building heights so that the each building elevation maintains proper proportion and scale.

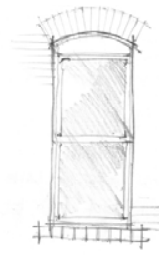
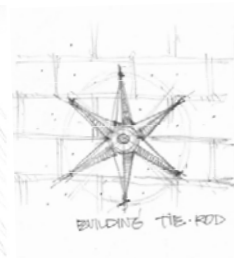
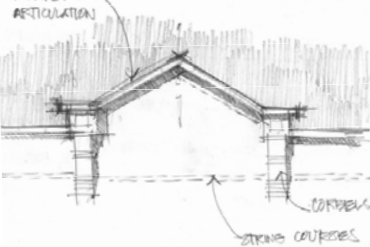
#### PLACEMAKING TECHNIQUES:

- The community also draws influence from 20th century factory and industrial buildings that existed on the site and area in general.
- The mass of the buildings are varied and arranged for a pedestrian scaled streetscape, as well as not overpowering the surrounding scale.
- Ornamental landscape/hardscape elements (site furniture, etc) are utilized to enhance the outdoor areas, screen parking areas and tie the buildings to the site.
- Building entries, porches and balconies encourage human interaction and promote a sense of community.

PARAPET DETAILS



PARAPET ARTICULATION



ARCH HEAD WINDOW  
R-R. COVE BLDS



### III. ARCHITECTURAL and DESIGN GUIDELINES

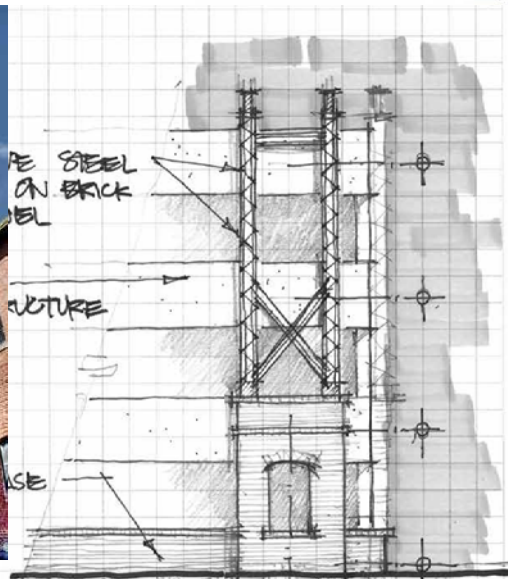
## ARCHITECTURE

#### EXISTING CONTEXT

Good design should take into account the context of place. Careful consideration has been given to elements of Newnan's existing Historic District. This page shows examples of the built environment, particularly some of the historic and eclectic qualities that portray the mass, scale, proportion and attention to detail which imbue Newnan with its unique character. These are the elements that link the proposed District architecture to Downtown Newnan as a progression of civic growth. The following page describes some of the particular details that influence our design.







±40' o.c.  
**DECK SCREENING CONCEPT**



### III. ARCHITECTURAL and DESIGN GUIDELINES

## ARCHITECTURE

#### MASSING and PLACEMAKING

Newnan has a strong brick vocabulary (particularly painted brick) throughout its downtown district. Details such as arch head openings, parapet cornices, iron work, and have been implemented as shown here. Other elements such as blade or banner signs, awning canopies, lights, and other hardware draw a direct correlation from the existing context, to knit into the fabric of the existing downtown fabric. Other proportions, details, materials and colors have been influenced by local character.



THE DISTRICT at NEWNAN



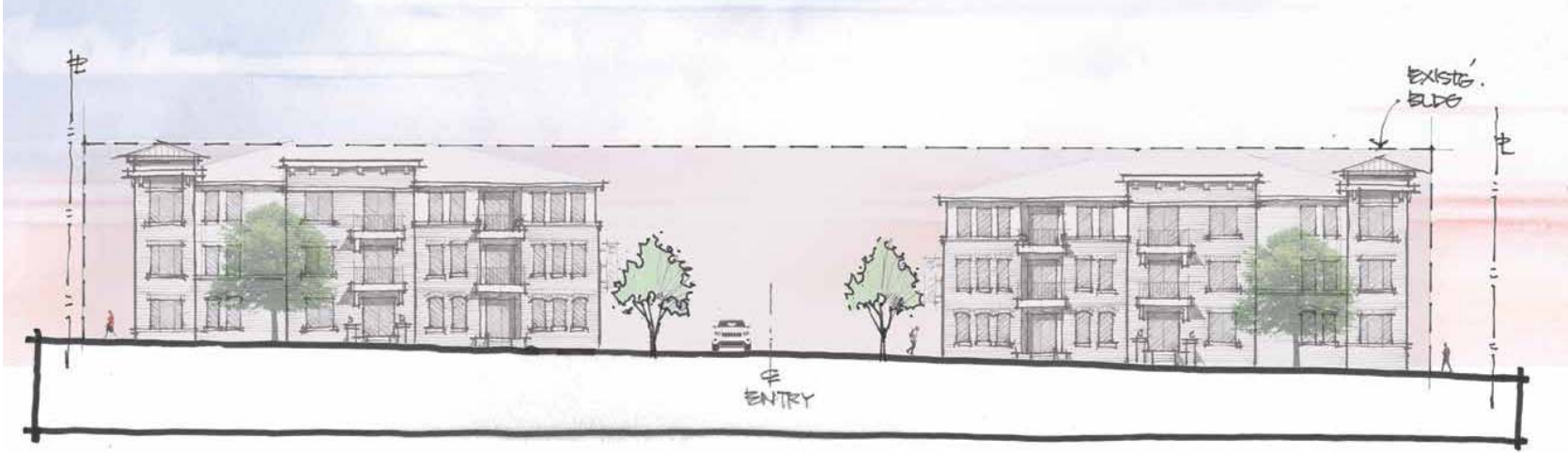
EXISTING STRUCTURES TO BE REMOVED DEPICTED IN LIGHT BLUE

**III. ARCHITECTURAL and DESIGN GUIDELINES**

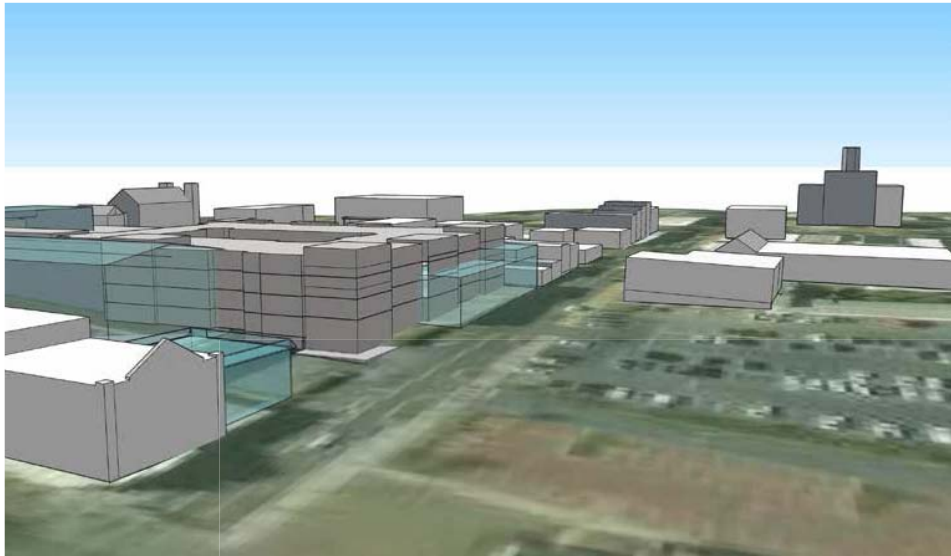
**ARCHITECTURE**

**MASSING and PLACEMAKING**

Newnan has a strong brick vocabulary (particularly painted brick) throughout its downtown district. Details such as arch head openings, parapet cornices, iron work, and have been implemented as shown here. Other elements such as blade or banner signs, awning canopies, lights, and other hardware draw a direct correlation from the existing context, to knit into the fabric of the existing downtown fabric. Other proportions, details, materials and colors have been influenced by local character.



VIEW FROM SALBIDE AVE



**VIEW LOOKING WEST ALONG EAST BROAD**  
 (existing structures to be removed depicted in light blue)

**III. ARCHITECTURAL and DESIGN GUIDELINES**

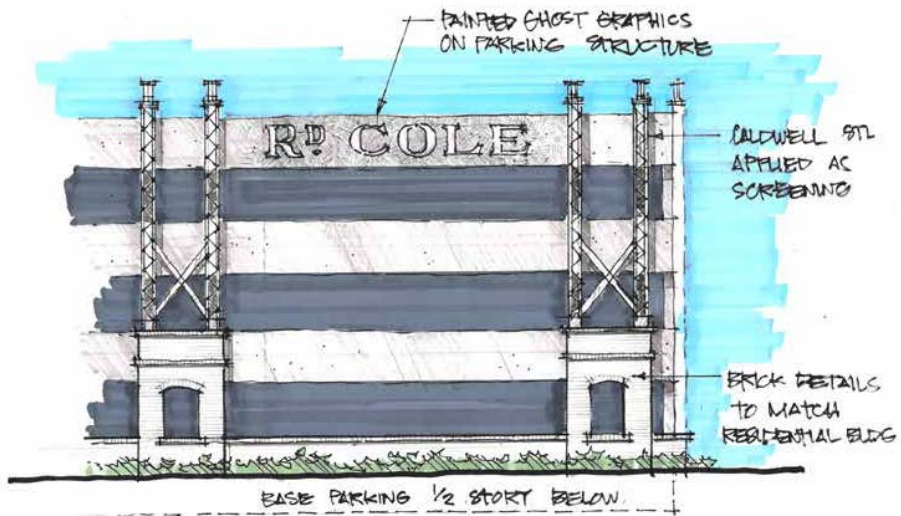
**ARCHITECTURE**

**MASSING and PLACEMAKING**

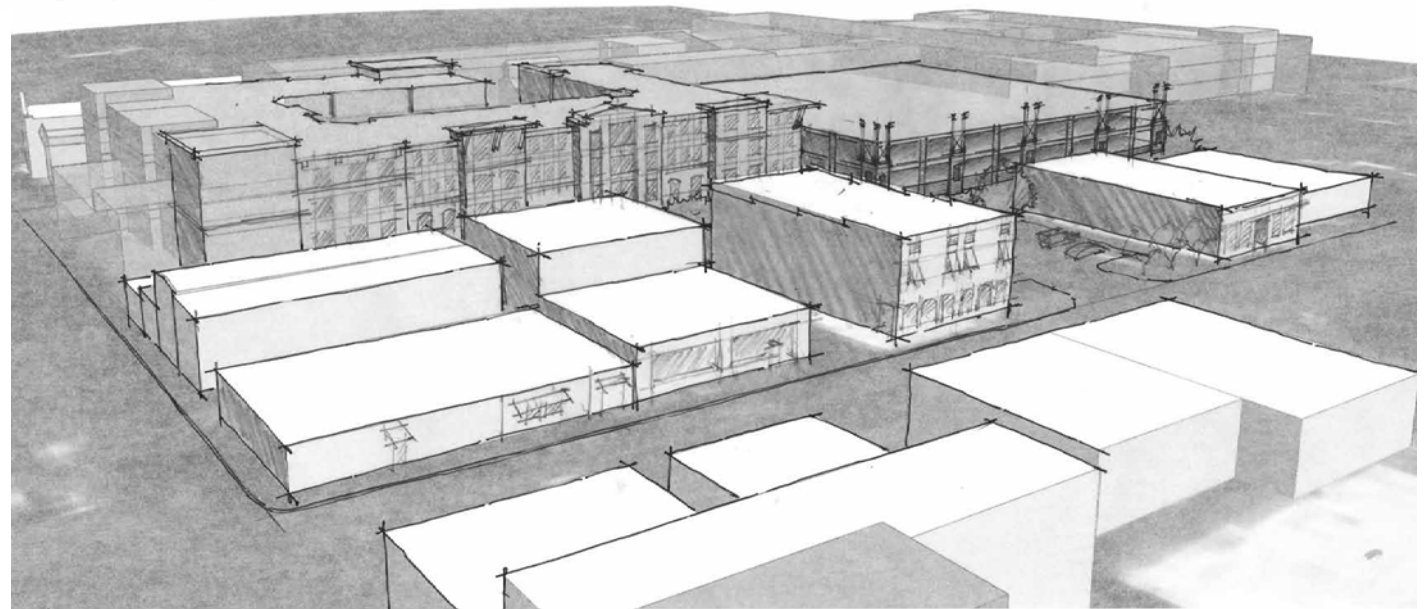
Newnan has a strong brick vocabulary (particularly painted brick) throughout its downtown district. Details such as arch head openings, parapet cornices, iron work, and have been implemented as shown here. Other elements such as blade or banner signs, awning canopies, lights, and other hardware draw a direct correlation from the existing context, to knit into the fabric of the existing downtown fabric. Other proportions, details, materials and colors have been influenced by local character.



**VIEW ALONG EAST BROAD ST**



DECK SCREENING DETAIL CONCEPT



VIEW FROM WEST

### III. ARCHITECTURAL and DESIGN GUIDELINES

## ARCHITECTURE

#### MASSING and PLACEMAKING

The structured parking has been carefully placed to the interior of the site, and is surrounded on 3 sides by residential architecture. Its height is also mitigated by being a half story below grade. Where the parking structure is exposed, decorative screening treatments will be applied to blend it into the architectural vocabulary.

The design intent is contemplating reuse of various artifacts from the existing industrial buildings as part of the screening devices.

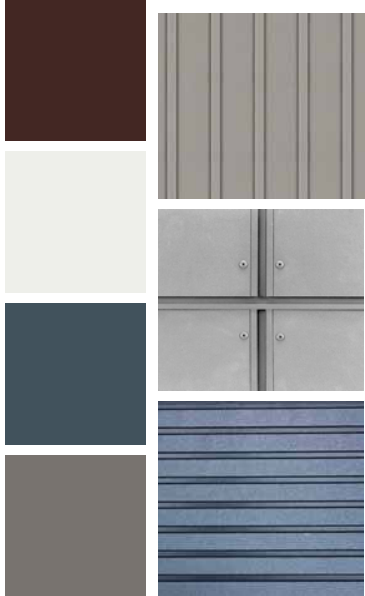
III. ARCHITECTURAL and DESIGN GUIDELINES

# ARCHITECTURE

MATERIALS and DETAILS



VIEW ALONG EAST BROAD ST



III. ARCHITECTURAL and DESIGN GUIDELINES

# ARCHITECTURE

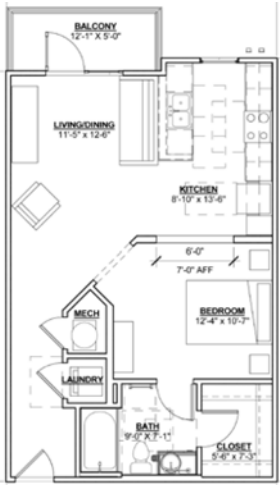
MATERIALS and DETAILS



VIEW FROM SALBIDE AVE



THE DISTRICT at NEWNAN



**UNIT A1**  
681 s.f. + balcony



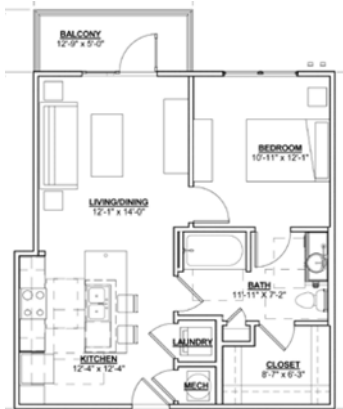
**UNIT A2**  
756 s.f. + balcony



**UNIT A3**  
779 s.f. + balcony



**UNIT A4**  
740 s.f.



**UNIT A5**  
668 s.f. + balcony



**UNIT A6**  
806 s.f. + balcony

**III. ARCHITECTURAL and DESIGN GUIDELINES**

**ARCHITECTURE**  
**ONE BEDROOM UNIT PLANS**

TYPICAL ONE BEDROOM UNITS (does not include variants such as Accessible Units). Unit plans subject to refinement in final design.

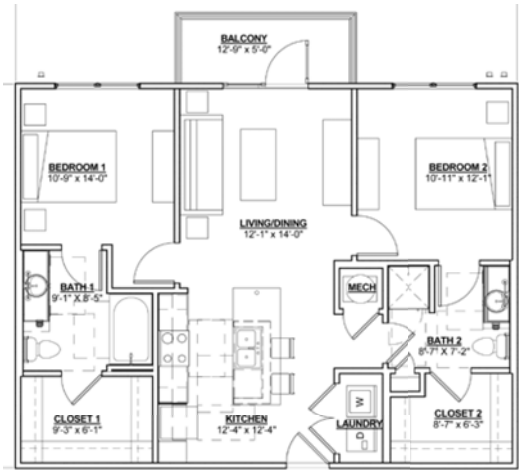
Unit plans are not to scale.

III. ARCHITECTURAL and DESIGN GUIDELINES

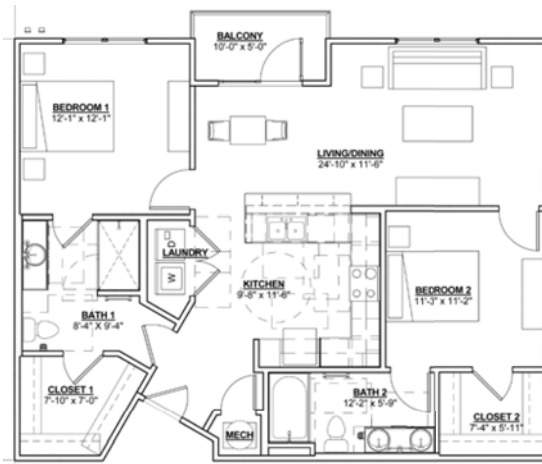
# ARCHITECTURE

## TWO BEDROOM UNIT PLANS

TYPICAL TWO BEDROOM UNITS (does not include variants such as Accessible Units). Unit plans subject to refinement in final design.



**UNIT B1**  
950 s.f. + balcony



**UNIT B2**  
1,091s.f. + balcony

Unit plans are not to scale.



III. ARCHITECTURAL and DESIGN GUIDELINES

**ARCHITECTURE**  
TYPICAL INTERIOR FINISHES



**TYPICAL 2 BEDROOM UNIT FLOOR PLAN & FINISHES**

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

**THE DISTRICT at NEWNAN**

III. ARCHITECTURAL and DESIGN GUIDELINES



PROPOSED UNIT FINISHES - OPTION A

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN

III. ARCHITECTURAL and DESIGN GUIDELINES



PROPOSED UNIT FINISHES - OPTION B

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN

III. ARCHITECTURAL and DESIGN GUIDELINES



TYPICAL KITCHEN



TYPICAL KITCHEN DETAIL



TYPICAL BEDROOM



TYPICAL KITCHEN



TYPICAL KITCHEN



TYPICAL BEDROOM DETAIL

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN

### III. ARCHITECTURAL and DESIGN GUIDELINES



TYPICAL AMENITY FINISHES

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN



**TYPICAL OUTDOOR PATIO**



**TYPICAL POOL AND CABANA**

**III. ARCHITECTURAL and DESIGN GUIDELINES**

**ARCHITECTURE**

**TYPICAL LANDSCAPE/HARDSCAPE**



**TYPICAL CABANA INTERIOR**



**TYPICAL OUTDOOR PATIO**



**TYPICAL COURTYARD**



**TYPICAL COURTYARD**

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

**THE DISTRICT at NEWNAN**

### III. ARCHITECTURAL and DESIGN GUIDELINES

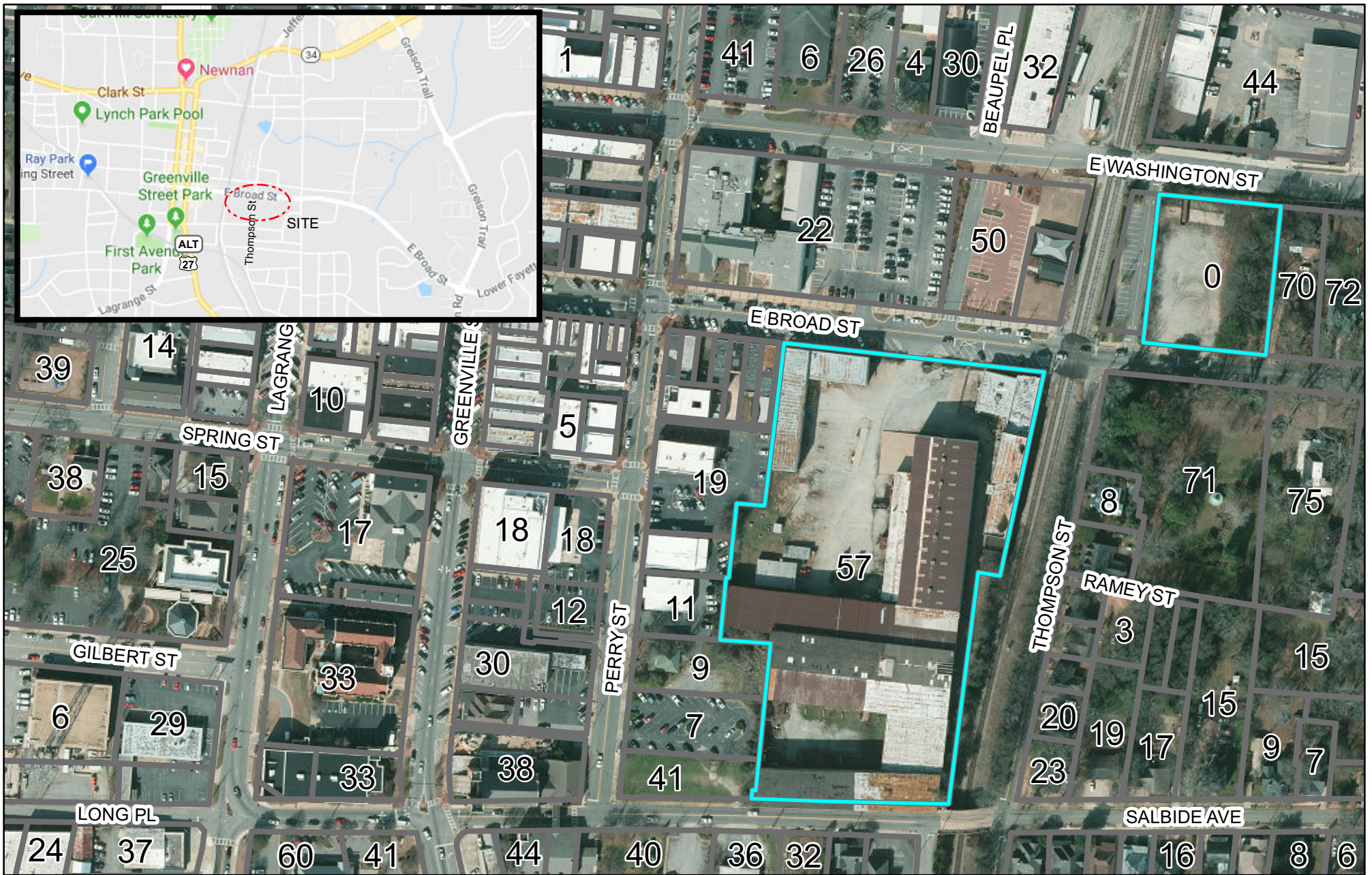
# ARCHITECTURE



THE DISTRICT at DULUTH WAS COMPLETED BY THE DEVELOPER AND DESIGN TEAM IN 2018

Photographs of a previously built community by The Residential Group are intended to show the level and finish of proposed materials. Final selections may vary.

THE DISTRICT at NEWNAN



**CITY OF NEWNAN** | Project Location



CITY OF NEWNAN  
 PLANNING DEPT.  
 25 LAGRANGE STREET  
 NEWNAN, GEORGIA 30263  
[www.ci.newnan.ga.us](http://www.ci.newnan.ga.us)



**LEGEND**

- Project Location
- PARCELS
- CITY LIMITS

**ADDRESS**

E BROAD ST @ THOMPSON ST  
 NEWNAN GA. 30263



# Community Assessment Memo

**To:** Tracy Dunnavant, Planning Director

**From:** Vern Wilburn, P.E., PTOE

**Date:** May 31, 2019

**Re:** Proposed Redevelopment, The District at Newnan  
57 E. Broad Street

---

This memo outlines community impacts expected to occur from the proposed rezoning and development of a 6.667-acre site located at 57 East Broad Street. The development, known as The District at Newnan, is being proposed by The Residential Group.

The proposed project is the redevelopment of property that was once the RD Cole Manufacturing Company. The existing office and warehouse building located adjacent to the railroad will be renovated. The large dilapidated mill building further to the north will be demolished and replaced. A site plan is included as Attachment A.

The existing RD Cole office building contains 5600 square feet of space that will be renovated and used as a general office building. The warehouse building that will be renovated contains 13,500 square feet. The new buildings proposed for the site will contain 340 residential dwelling units. There will also be a four-story parking deck on the site.

There will be a new internal roadway constructed on the site between E. Broad Street and Salbide Avenue. This road will be private but will not have access control. There will be a pedestrian connection from this road to Perry Street to the north. The site plan also acknowledges the future Linc Multi-Use Trail along the north side of Thompson Street between E. Broad Street and E. Washington Street.

Input was requested from various agencies and utility providers including: the Coweta County School Board, Newnan Utilities, the Newnan Police Department, and the Newnan Fire Department. Responses have been received from each of them and the responses are included in this memo.

A traffic impact study was also prepared and is presented as a separate document. The results of the traffic study are summarized herein.

## COWETA COUNTY SCHOOL SYSTEM

A letter was received from the Operations Director for the Coweta County School System who provided information on the expected impact. A copy of the letter from Ronnie Cheek is included in the as Attachment B.

Mr. Cheek indicated that many of the schools serving this District are currently at or near capacity. He stated that serving the needs of the proposed development may present challenges.

He asked that as much advance notice as possible be provided to the school system with additional information about the schedule. This information will be provided to Mr. Cheek at a later date.

It is noted that an additional tax revenue of \$360,012 per year would be dedicated to the school system as a result of the proposed development (see page 3).

It should also be recognized that the residential community to established in this development will be targeted toward younger people who are less likely to have school age children.

## ROADS AND STREETS

A traffic impact study was performed for the proposed development. The traffic impact study report prepared by Maldino and Wilburn is included as a separate document. This section will summarize the findings of the traffic study.

The traffic expected to be generated by the proposed development is shown in the following table.

EXPECTED TRIP GENERATION

LAND USE CODE	LAND USE	SIZE	DAILY	AM PEAK HOUR			PM PEAK HOUR		
			ENTER/EXIT	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
150	Warehouse	13.5 ksf	18	2	1	3	1	3	4
220	Low-Rise Apartment	24 Units	88	3	8	1	8	5	13
220	Low-Rise Apartment	316 Units	1157	33	112	145	112	65	177
710	Office	5.6 ksf	25	5	1	6	1	5	6
<b>TOTAL</b>			<b>1288</b>	<b>43</b>	<b>122</b>	<b>165</b>	<b>121</b>	<b>77</b>	<b>198</b>

The existing traffic volumes on the streets in the study area are very low. The volumes on Broad Street are the most significant traffic flows observed with two-way flows of approximately 600 vehicles per hour. The two-way capacity of a two-lane road is about 2800 vehicles per hour.

Since the proposed driveways will be near the railroad crossings, the length of the longest expected queues along Broad Street and Washington Street were evaluated using capacity analysis. It was

determined that the queuing would not exceed one or two vehicles and would likely not extend back to the crossings.

The proposed development is expected to generate about 165 trips during the morning peak hour, with 43 of these entering the development and 122 leaving the development. The development is expected to generate 198 trips during the afternoon peak hour, with 121 entering and 77 exiting the site.

It was determined that the additional traffic from this development will have very little impact on the operations of the street system in the study area. The impact of additional traffic is highest for the Thompson Street approach to E. Broad Street. The additional delay for this movement will be about 9 seconds per vehicle during the PM Peak Hour. This movement has a Level of Service (LOS) D at present which remains unchanged as a result of the project.

Thompson Street is about 19 feet wide. It is recommended that when the development plans are prepared that Thompson Street be widened if feasible, at least at the intersections with E. Broad Street and E. Washington Street.

It is recommended that the development plans seek ways to incorporate the Linc Multi-Use Trail system.

#### **NEWNAN POLICE DEPARTMENT**

A letter was received from Police Chief Meadows who provided information on the expected impact. A copy of the letter from Chief Meadows is included as Attachment C.

Chief Meadows states that the population increase is 2.55 people per residential unit or 867 total new residents resulting in 1405 additional annual calls for service. Based on the current number of police officers (35) servicing calls, this would equate to 40 additional annual calls per year per officer.

#### **NEWNAN FIRE DEPARTMENT**

An email response was received from Fire Chief Stephen Brown who indicated that the department currently has enough manpower and equipment to serve the proposed development. A copy of the email from Chief Brown is included as Attachment D.

## NEWNAN UTILITIES

An email response was received from Scott Tolar of Newnan Utilities. The email, which is included as Attachment E, indicates that Newnan Utilities has ample capacity to serve the proposed development.

## CITY OF NEWNAN TAX REVENUE

The subject property, Parcel N04 0010 006 and N04 0012 001, currently have an assessed values of \$1,373,200 and \$120,910 respectively for a total of \$1,494,110. Tax parcel information from the qPublic website is included as Attachment F.

The City of Newnan's current millage rate is 30.22. The annual tax revenue to the City based on the current assessed value is \$18,061.

It is estimated that the fair market value of the property would increase to \$50 million with the proposed improvements. The assessed valuation would be 40% of the fair market value or \$20 million. The resulting annual tax revenue would be \$604,400 per year (an increase of \$586,339 per year). The following table shows the distribution of the additional tax revenue.

ESTIMATED ADDITIONAL ANNUAL TAX REVENUE	
County	\$147,171
School	\$360,012
City	\$79,156
<b>TOTAL</b>	<b>\$586,339</b>

## OTHER BENEFITS TO THE CITY OF NEWNAN

The development of this property as proposed would require significant impact fees to be paid including the following:

Development Impact Fee	\$1,136.07 per unit	\$386,263
Sanitary Sewer Impact Fee	\$1,800 per unit	\$612,000
Water Meter and Extension Fees	Estimated	\$100,000
<b>TOTAL IMPACT FEES</b>		<b>\$1,098,263 (Estimated)</b>

# ATTACHMENTS

PRELIMINARY SITE PLAN ..... A  
LETTER FROM COWETA SCHOOL SYSTEM ..... B  
LETTER FROM NEWNAN POLICE DEPARTMENT ..... C  
LETTER FROM NEWNAN FIRE DEPARTMENT ..... D  
LETTER FROM NEWNAN UTILITIES ..... E  
TAX PARCEL DATA FROM QPUBLIC WEBSITE ..... F

---

ATTACHMENT A  
SITE PLAN

---



**57 BROAD STREET  
PRELIMINARY SITE SUMMARY**

The Residential Group  
Studio Architects  
PR: 18-141

Category	S1	AL4	A1	A2	A3	A7	B1	B2	B3	No./Do's	Parking	Bldg. Ht.	Total Net Unit Area	Leasing/Agency	Comm'l Area	
office bldg	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	2.50 sq/ft	0.00%	0 sp	0.00'	0.00	0.00	5,700 sf	78,100 sf
warehouse										0.00%	0 sp	0.00'	0.00	0.00	0.00	0.00
A	7		7	40	22	24	7	8	15	139.00%	209 sp	4 Story	115,596 sf	7,236 sf		
B				12			18		8	39.00%	45 sp	4 Story	37,940 sf			
C			3	16			12	20	6	57.00%	36 sp	4 Story	56,427 sf			
D	8		3	8	4		12		14	49.00%	74 sp	4 Story	45,819 sf			
E				12			12		12	34.00%	36 sp	3 Story	22,688 sf			
F	9	18	3	2	4		5		5	41.00%	62 sp	3 Story	29,488 sf			
<b>TOTALS</b>	<b>24</b>	<b>18</b>	<b>16</b>	<b>75</b>	<b>50</b>	<b>28</b>	<b>41</b>	<b>28</b>	<b>60</b>		<b>510 sp</b>		<b>297,258 sf</b>	<b>7,236 sf</b>	<b>25,800 sf</b>	<b>0 cars</b>
%age to unit	7.1%	5.5%	4.7%	22.1%	14.7%	5.8%	12.1%	8.3%	17.6%							
%age to bldm	12.4%			49.7%			37.9%									
net unit area	640 sf	624 sf	779 sf	722 sf	745 sf	839 sf	994 sf	1,162 sf	1,167 sf	874 sf	874 sf	874 sf	297,258 sf			
total net area	15,360 sf	11,232 sf	12,464 sf	54,150 sf	37,250 sf	23,492 sf	40,754 sf	32,536 sf	70,020 sf	297,258 sf						

Notes:  
net unit is unit box w/o bakery



**LAND USE SUMMARY**  
 TOTAL SITE AREA: 6.667 AC / 290,415 SF  
 EXISTING ZONING: CBD  
 PROPOSED ZONING: MXD / DDO  
 OPEN SPACE: 15% = 43,563 SF 50% REDUCTION - SEC 6-22: 21,781 SF  
 ADAPTIVE REUSE: 25,800 SF  
 RD COLE: 5,700 SF  
 WAREHOUSE: 20,100 SF  
 RESIDENTIAL: 410,153 SF  
 ACCESSORY (leasing, amenity, service): 11,000 SF  
 TOTAL GROSS BLDG AREA: 421,153 sf (Does not include parking deck)  
 TOTAL PARKING PROVIDED: 510 SPACES

**PRELIMINARY SITE PLAN**  
 SCALE: 1" = 40'-0"  
 0 20' 40'

THE DISTRICT at NEWMAN  
 57 E BROAD STREET  
 NEWMAN, GEORGIA



DATE: 10/20/19

REV: 04/15/2019

PRELIMINARY SITE PLAN

Project No. 18-141

18-141

psp.01

---

**ATTACHMENT B**  
**LETTER FROM COWETA SCHOOL SYSTEM**

---





# Coweta County School System Operations Center

Vern Wilburn, P.E., PTOE  
Maldino & Wilburn  
75 Jackson St., Suite 402  
Newnan, GA 30263

Re: Proposed Development  
57 E. Broad St. Proposed Development

Mr. Wilburn,

In response to your request for input on the community impact study for the proposed development referenced above, we offer the following based on the information available:

In our experience, residents of apartment dwellings are often more transient than those in single family dwellings. This may present challenges when planning for school enrollment and meeting student needs. Due to the high density housing in the area of the proposal, school capacity is an ongoing concern. Many of the schools serving that area are at or near capacity.

If approved, we would request that the developer provide us advanced notice of the following information for our planning purposes:

What is the construction schedule for the project?

What is the proposed build-out timeline?

Will the project be built in phases?

Thank you for the opportunity to provide feedback.

Sincerely,



Ronald C. Cheek  
Director of Facilities  
Coweta County School System

---

**ATTACHMENT C**  
**LETTER FROM NEWNAN POLICE DEPARTMENT**

---





**NEWNAN POLICE DEPARTMENT  
CITY OF NEWNAN**

1 Joseph Hannah Blvd  
P.O. Box 1193  
Newnan, GA 30264  
770-254-2355  
FAX: 678-423-4130

**June 24, 2019**

**To: Vern Wilburn  
Maldino & Wilburn  
Traffic Engineering Consultants**

**Reference: Impact of development at Caldwell Tanks location on East Broad Street**

Dear Mr. Wilburn,

In reviewing historical information concerning number of calls for service, response time, and number of officers, following is the impact to the police department services for the 340 residential units that will occupy this site.

These numbers do not include any information concerning office and/or retail storefronts.

The numbers are projected with 35 Officers being used to determine calls per officers. These 35 officers are patrol officers who will normally be the first responders to any call for service.

Annual Calls for service	Estimated Population	Calls per citizen	Current Calls per Officer	Estimated occupants each new resident	Calls for additional residents	Additional calls per Officer	Additional Officers to maintain current calls per Officer	Estimated time on each call	Response time
54,954	34,000	1.62	1,571	2.55	1,405	40	1	1 hour	5 min.

While these numbers may appear to be low in number, it does take an officer off the street longer than just taking information, and filing a report.

It will also require one additional fully equipped patrol cars for the additional Officers.

We would be able to service this development, but it would require a longer response time.

Respectfully,

**Douglas L. Meadows  
Chief of Police**

---

**ATTACHMENT D**  
**LETTER FROM NEWNAN FIRE DEPARTMENT**

---





# NEWNAN FIRE DEPARTMENT

23 JEFFERSON STREET • NEWNAN, GA 30263  
770-253-1851 (P) • 770-638-8678 (F)



Stephen R. Brown, Fire Chief

April 29, 2019

Vern Wilburn, PE PTOE  
Maldino & Wilburn Traffic Engineering Consultants  
75 Jackson Street  
Newnan, Ga. 30263

Re: Proposed Multi-Used Development  
57 East Broad Street, Newnan, Ga. 30263

Dear Ms. Wilburn,

Newnan Fire Department personnel has reviewed the plans for the Proposed Multi-Used Development for the property at 57 East Broad St. At this time we confirm that we have adequate man power and equipment to service this property.

If you have any question concerning this matter, please feel free to contact me.

Thank you,

  
Chief Stephen Brown  
Newnan Fire Department

---

**ATTACHMENT E**  
**LETTER FROM NEWNAN UTILITIES**

---





Date: May 20, 2019

Attn: Vern Wilburn, P.E., PTOE  
75 Jackson Street  
Suite 402  
Newnan, GA 30263

**REF: 57 East Broad Street Newnan, GA**

Dear Mr. Wilburn,

I am writing per your request to confirm that Newnan Utilities will be the power, water and sewer service provider for the above referenced project. At this time, Newnan Utilities also has ample capacity to serve this proposed facility, based on the following information:

1. Parcel Number N04 0010 006 and N04 0012 001
2. 6.42 Acres
3. Electric:
  - a. Developer shall provide Newnan Utilities Engineering with AutoCAD dwg. files for electrical design.
  - b. Developer or Electrical Engineer shall complete Newnan Utilities load data sheet
  - c. Electrical shall be built out per Newnan Utilities contractor manual
4. Sanitary Sewer:
  - a. Developer shall connect to Newnan Utilities Sanitary Sewer System.
  - b. Developer is responsible for all upgrade cost necessary to serve said property, but not limited to:
    - i. Design and Construction of development sanitary sewer system per Newnan Utilities Specifications.
    - ii. Design and construction of connection to Newnan Utilities Sanitary Sewer System.
    - iii. Cost for analyzing existing sanitary sewer system by an engineer firm approved by Newnan Utilities.
    - iv. Existing sanitary sewer upgrades to handle proposed development. This is to include any lift station upgrades, gravity sanitary sewer upgrades, sanitary sewer force main upgrades, and any other upgrades deemed necessary by Newnan Utilities.

70 Sewell Road  
Newnan, GA 30263  
770-683-5516  
770-683-0292 fax  
[www.NewnanUtilities.org](http://www.NewnanUtilities.org)

- v. Line extension fees associated with connection to Newnan Utilities Sanitary Sewer System.
  - vi. Sanitary Sewer Impact fees associated with connection to Newnan Utilities Sanitary Sewer System.
5. Water:
- a. Developer shall connect to Newnan Utilities Water System.
  - b. Developer is responsible for all upgrade cost necessary to serve said property, but not limited to:
    - i. Construction of development water system per Newnan Utilities Specifications.
    - ii. Design and construction of connection to Newnan Utilities Water System.
    - iii. Cost for analyzing existing water sewer system by an engineer firm approved by Newnan Utilities.
    - iv. Existing water upgrades to handle proposed development. This is to include water system upgrades, fire protection upgrades, and any other upgrades deemed necessary by Newnan Utilities.
    - v. Line extension fees associated with connection to Newnan Utilities Sanitary Sewer System.

Please let me know if you have any questions or need additional information.

Sincerely,

Scott Tolar, P.E.  
Newnan Utilities  
(770) 301-0245



---

**ATTACHMENT F**  
**TAX PARCEL DATA**

---



### Summary

**Parcel Number** N04 0010 006  
**Location Address** 57 E BROAD ST  
**Legal Description** IND PLANT/LT E BROAD ST  
(Note: Not to be used on legal documents)  
**Class** I3-Industrial  
(Note: This is for tax purposes only. Not to be used for zoning.)  
**Tax District** NEWNAN 02 (District 02)  
**Millage Rate** 30.22  
**Acres** 5.5  
**Neighborhood** DOWNTOWN COMM 0399 (0399)  
**Homestead Exemption** No (S0)  
**Landlot/District** N/A

[View Map](#)

### Owner

**BROAD STREET FORUM INC**  
 4000 TOWER RD  
 LOUISVILLE, KY 40219

### Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Industrial	Ind-County Industrial	Acres	239,580	0	0	5.5	1

### Commercial Improvement Information

**Description** Inds Light MFG-Avg  
**Value** \$944,011  
**Actual Year Built** 1884  
**Effective Year Built** 1978  
**Square Feet** 105996  
**Wall Height** 30  
**Wall Frames**  
**Exterior Wall**  
**Roof Cover**  
**Interior Walls**  
**Floor Construction**  
**Floor Finish**  
**Ceiling Finish**  
**Lighting**  
**Heating**  
**Number of Buildings** 1

**Description** Inds Light MFG-Avg  
**Value** \$138,191  
**Actual Year Built** 1956  
**Effective Year Built** 1980  
**Square Feet** 11550  
**Wall Height** 35  
**Wall Frames**  
**Exterior Wall**  
**Roof Cover**  
**Interior Walls**  
**Floor Construction**  
**Floor Finish**  
**Ceiling Finish**  
**Lighting**  
**Heating**  
**Number of Buildings** 1

### Permits

Permit Date	Permit Number	Type	Description
10/02/2013	2013-00016	DEMOLITION	

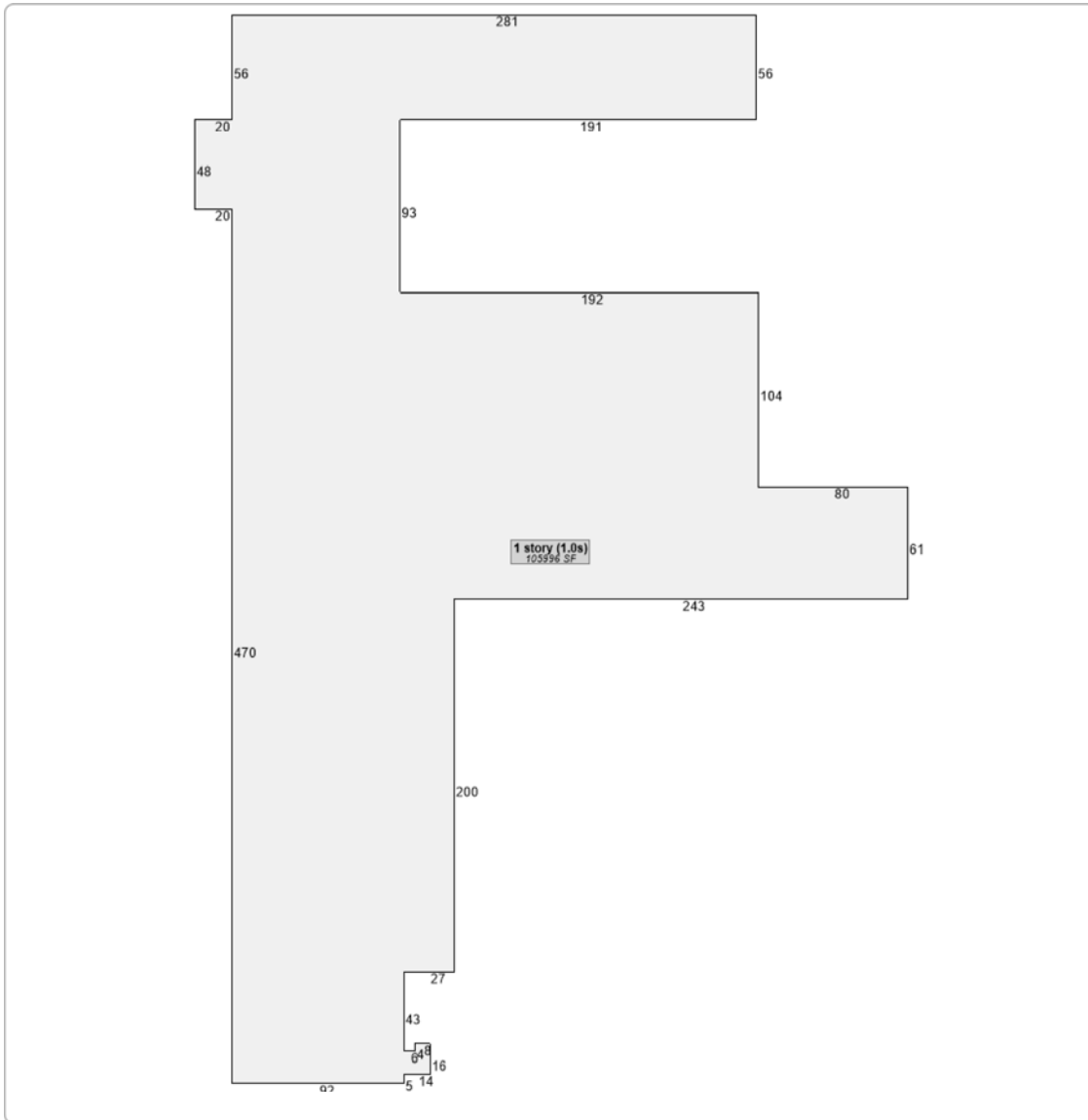
### Sales

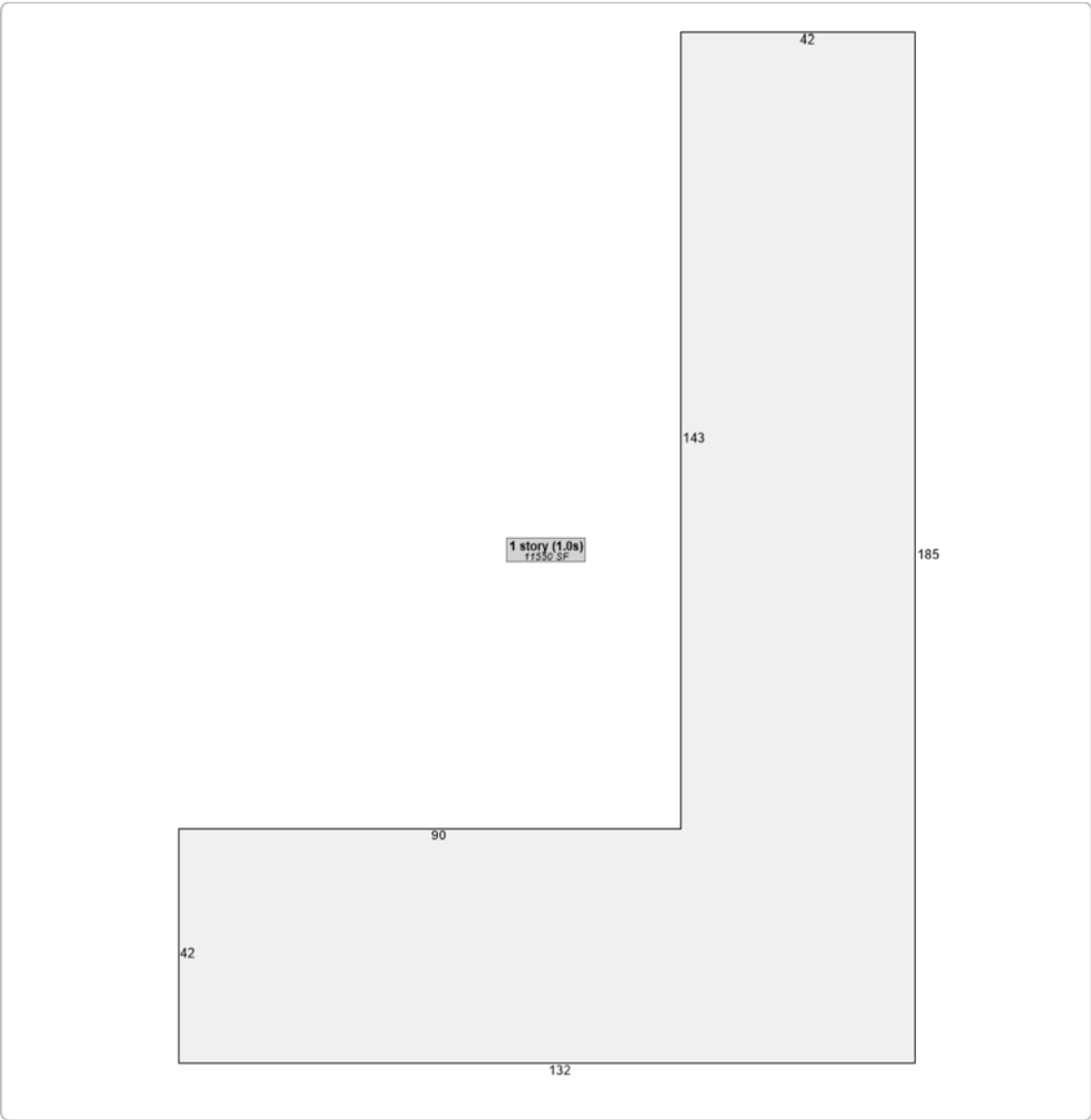
Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
9/25/2002	1995 312	77 50	\$1,740,000	QUALIFIED MULTIPLE	BROWN STEEL CONTRACT	BROAD STREET FORUM INC
	00		\$0	UNKNOWN STATUS		BROWN STEEL CONTRACT

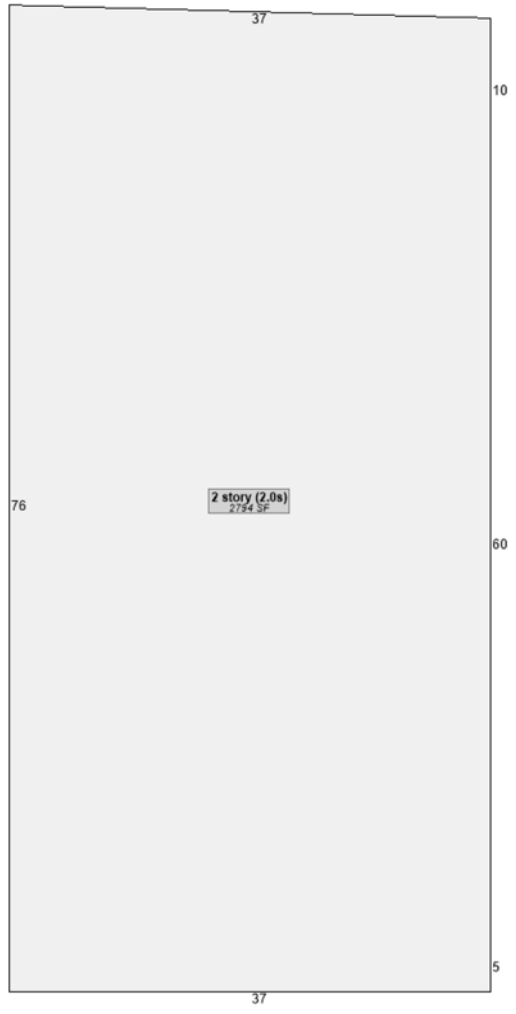
### Valuation

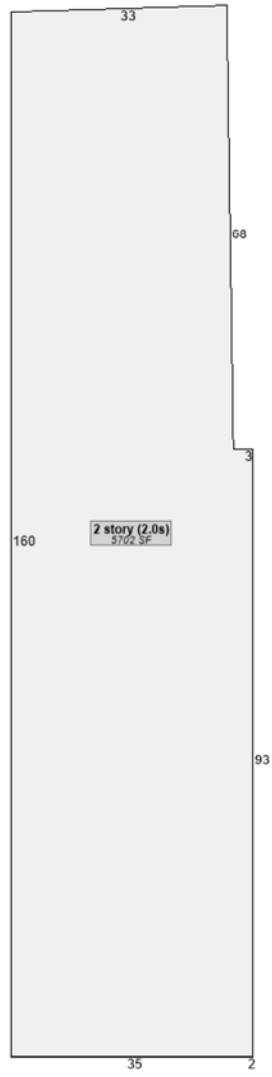
	2019	2018	2017	2016
Previous Value	\$1,373,200	\$1,373,200	\$1,373,200	\$1,373,200
Land Value	\$82,500	\$82,500	\$82,500	\$82,500
+ Improvement Value	\$1,290,700	\$1,290,700	\$1,290,700	\$1,290,700
+ Accessory Value	\$0	\$0	\$0	\$0
= Current Value	\$1,373,200	\$1,373,200	\$1,373,200	\$1,373,200

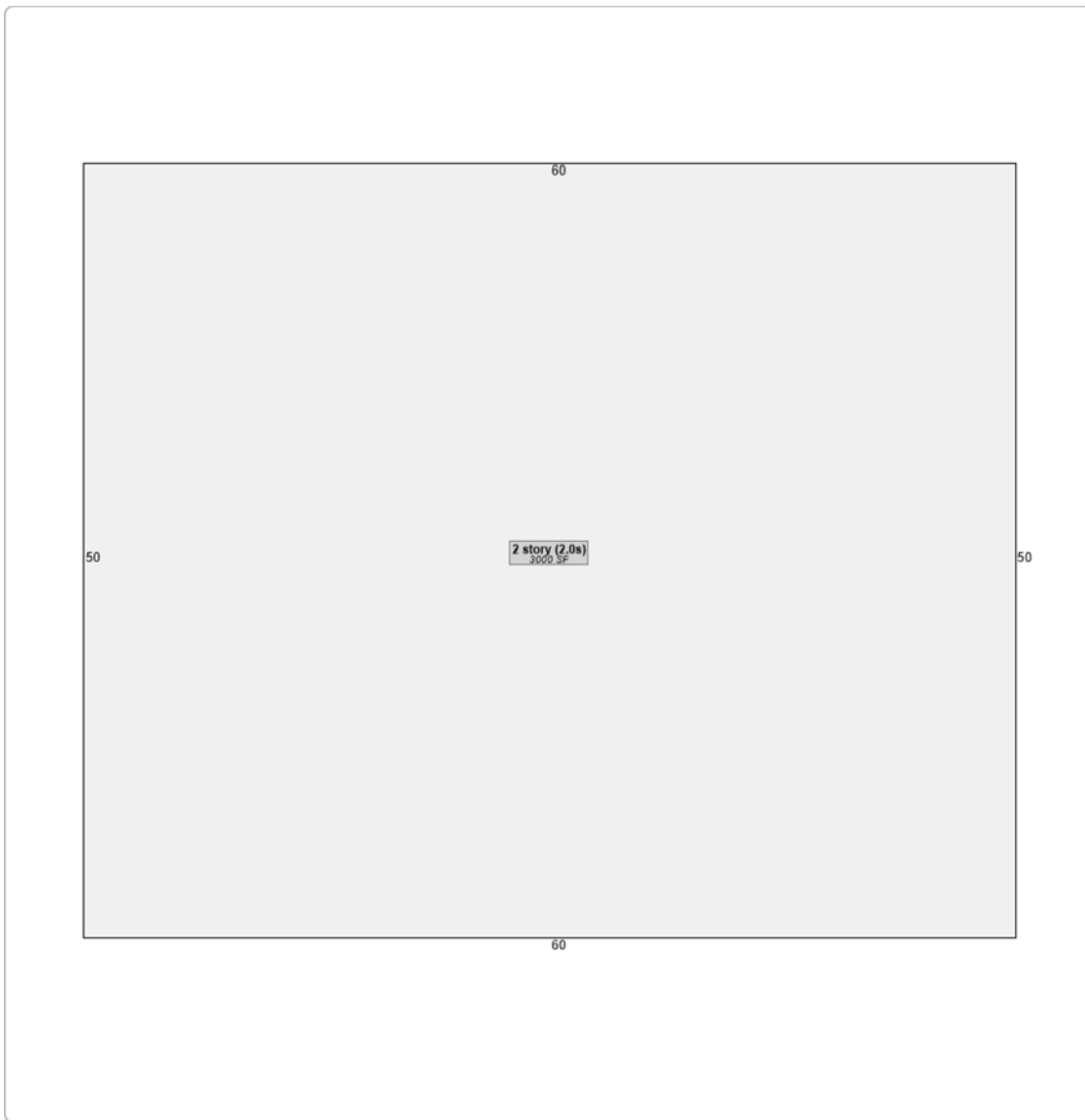
### Sketches











**No data available for the following modules:** Rural Land, Conservation Use Rural Land, Residential Improvement Information, Mobile Homes, Accessory Information, Prebill Mobile Homes, Septic Drawings, Photos.

The Coweta County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

Developed by  
 **Schneider**  
GEO SPATIAL

Last Data Upload: 5/27/2019, 12:47:47 AM

Version 2.2.20

### Summary

Parcel Number	N04 0012 001
Location Address	
Legal Description	V/L E BROAD ST <i>(Note: Not to be used on legal documents)</i>
Class	C3-Commercial <i>(Note: This is for tax purposes only. Not to be used for zoning.)</i>
Tax District	NEWNAN 02 (District 02)
Millage Rate	30.22
Acres	0.92
Neighborhood	Comm/Ind Newnan (G10000)
Homestead Exemption	No (S0)
Landlot/District	N/A

[View Map](#)

### Owner

**BROAD STREET FORUM INC**  
 STE 14  
 3500 HWY 34 E  
 SHARPSBURG, GA 30277

### Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	Comm-Downtown Off Main	Front Feet	40,000	187	228	0.92	1

### Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
9/25/2002	1995 312	77 50	\$1,740,000	QUALIFIED MULTIPLE	BROWN STEEL CONTRACT	BROAD STREET FORUM INC
	0 0		\$0	UNKNOWN STATUS		BROWN STEEL CONTRACT

### Valuation

	2019	2018	2017	2016
Previous Value	\$120,910	\$120,910	\$120,910	\$120,910
Land Value	\$120,910	\$120,910	\$120,910	\$120,910
+ Improvement Value	\$0	\$0	\$0	\$0
+ Accessory Value	\$0	\$0	\$0	\$0
= Current Value	\$120,910	\$120,910	\$120,910	\$120,910

**No data available for the following modules:** Rural Land, Conservation Use Rural Land, Residential Improvement Information, Commercial Improvement Information, Mobile Homes, Accessory Information, Prebill Mobile Homes, Permits, Septic Drawings, Photos, Sketches.

The Coweta County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

Developed by  

**Schneider**  
 GEOSPATIAL

Last Data Upload: 5/27/2019, 12:47:47 AM

Version 2.2.20



# Development and Preservation Caldwell Tanks Site (D.8)

## LONG TERM

7

This 5.5-acre site has existed in Newnan since 1877 – originally as the R.D. Cole Manufacturing Company and later known as Brown Steel. The site played a significant role over the last century in development of Newnan’s economy and the establishment of adjacent neighborhoods such as Coletown and Mill Village. Today’s owner, Caldwell Tanks, recently announced plans to move their shop operations to the company’s headquarters in Louisville, Kentucky.

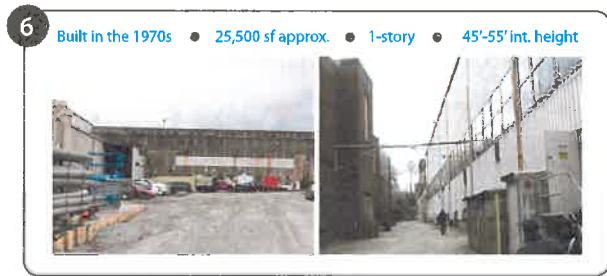
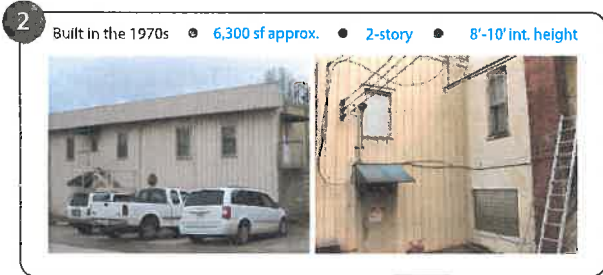
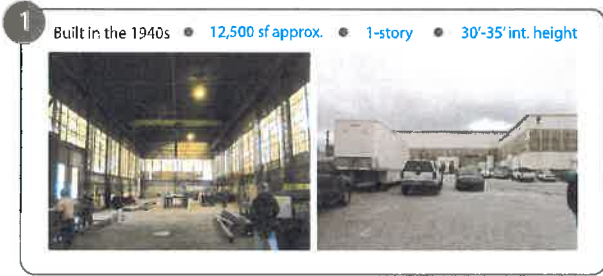
The company’s imminent move presents an incredible redevelopment opportunity as it is unusual to find such a large site in such close proximity to a Historic Downtown area. As part of the LCI, the team toured the site with

a team of planners, architects and historic preservation experts in order to assess site constraints/opportunities and conceptually document the general condition of existing structures and their potential ability to be adaptively re-used in the future.

As displayed in photographs to the right and described in more detail below, the site itself includes six structures that were constructed at various periods of time ranging from the late-1800s up through the 1970s. Some of these were simply additions to existing buildings and some are freestanding.



Figure 7e: Caldwell Tanks Site Existing Conditions



**Building 1** – a large 1940s industrial structure with high ceilings and steel sash windows with unique exterior frontage along E. Broad Street. Although not currently a heated space, it presents an opportunity for adaptive re-use.

**Building 2** – a 1960s addition to Building 3, its interior currently includes a series of office spaces. The building could potentially be removed in order to incorporate new uses within the site.

**Building 3** – this late-1800s brick structure on the site's northeast corner is currently used as the operations office. This building is particularly relevant in its historic value and should be preserved and/or restored as part of any future redevelopment. All conceptual design plans on the following pages incorporate this building as an existing asset to the site's historic significance.

**Building 4** – a three-story brick structure adjacent to the CSX railroad (currently used for various storage), presents an opportunity for adaptive re-use but will likely need significant structural/interior modifications.

**Building 5** – as the largest structure on the site, this 1930s building includes very high ceilings, steel framing and large, continuous steel sash windows. Although the building's exterior needs improvement, its overall architectural character (both internally and externally) is extremely unique. The space is not currently heated, but could potentially be adapted internally by adding smaller heated spaces. Conceptual redevelopment scenarios shown on the following pages include multiple options for this building: either potentially demolished to make room for new construction OR as a repaired, re-used and celebrated historic component of the site.

**Building 6** – a 1970s addition to Building 5, this large, open structure was used in the past for manufacturing activities and is currently used occasionally for filming activities. Due to its large size and central placement within the site, it may need to be removed in order to make new construction and associated parking more feasible.

As the largest and perhaps most significant long-term redevelopment opportunity within the entire LCI area, the Caldwell Tanks site's importance in the future of Downtown Newnan cannot be understated. Given the strong market opportunities for the LCI area (as noted previously), future uses of the Caldwell site could include a mix of different land uses that would capture a large portion of the area's longer-term retail and residential demands. A mixed-use development program would benefit the Downtown area by providing new goods and services for existing residents and workers, adding more 24-hour life and spending power, creating more of a critical mass of new residents in close proximity. The following redevelopment concept plans reflect these strong market projections while contemplating how the site's unique existing industrial character might be integrated with new buildings and uses.

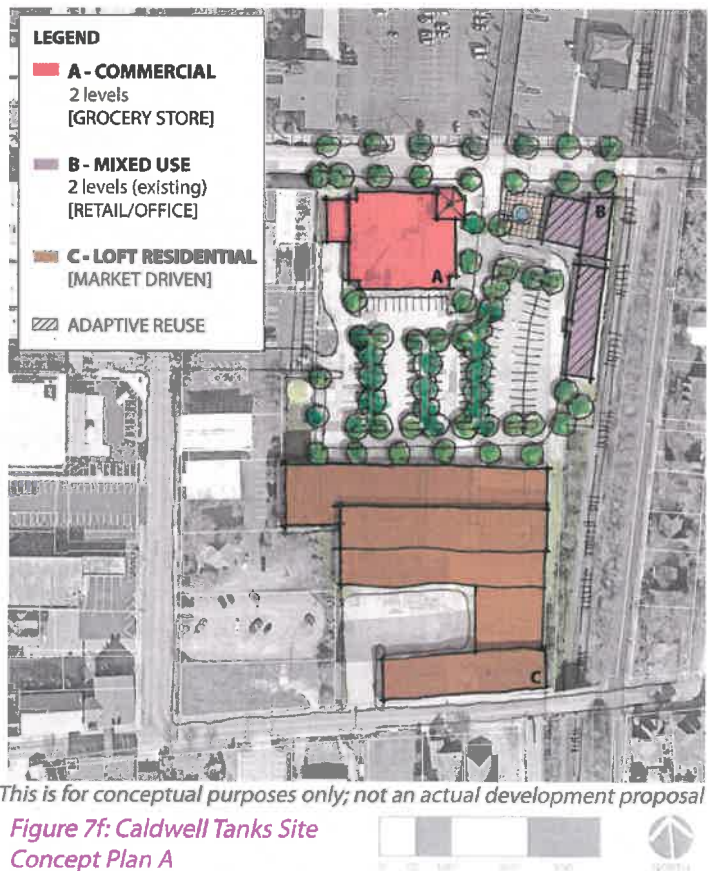
**Concept A** organizes a future development program within two "halves" of the site and includes a mix of new construction and adaptive re-use. Brick Masonry buildings around the northeast corner of the site would be renovated and include a mix of office and retail. A new two-level commercial building (possible small grocery or pharmacy - shown in red) replaces the existing "Building 1", taking advantage of the site's important frontage along E. Broad Street. The southern "half" of the site would retain the large existing "Building 5", adapted into a potential loft-style residential building. The center of the site in this scenario would include commercial loading and surface parking for all uses. (See Figure 7f)

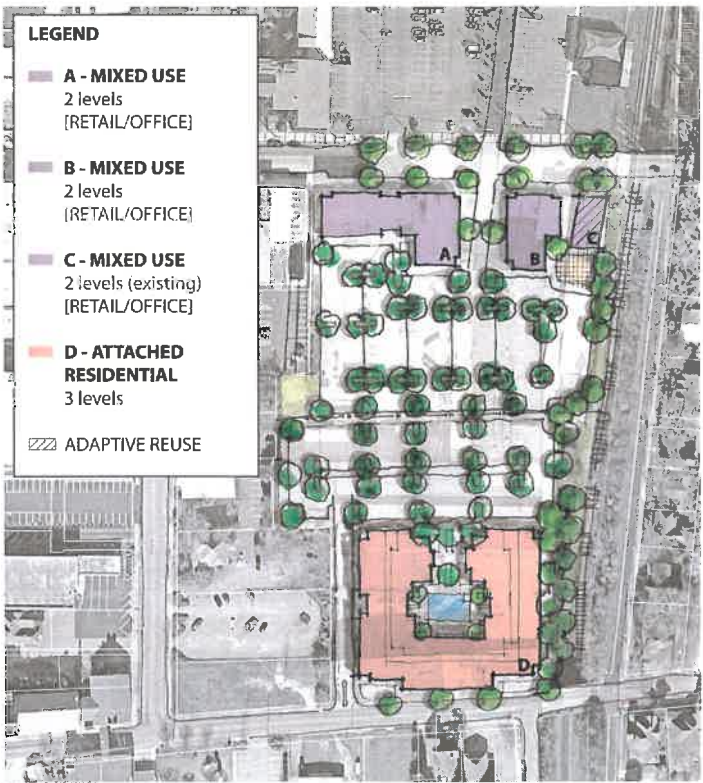
*NOTE: Future uses for re-use of "Building 5" will be market-driven and likely vary widely. As such, other uses could include a mix of offices and/or studios that would be compatible with adjacent residential.*

**Concept B** also organizes a future development program within two "halves" of the site, but with a majority of new construction and land uses. In this scenario, the E. Broad Street site



The LCI team toured the Caldwell Tanks site in December 2013



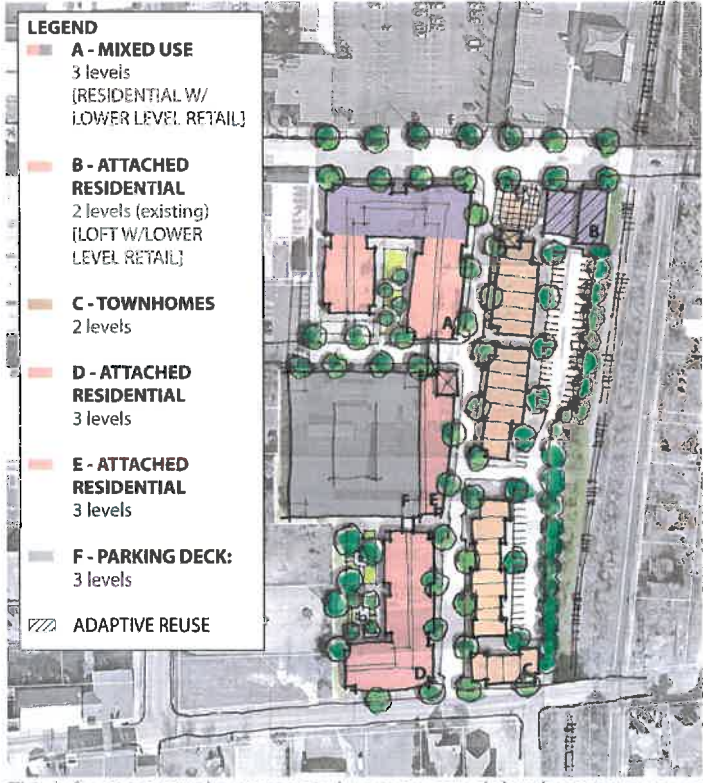


This is for conceptual purposes only; not an actual development proposal

Figure 7g: Caldwell Tanks Site Concept Plan B

frontage would include new two-story mixed use buildings adjacent to renovation/re-use of existing "Building C" only. The new mixed-use would include ground-floor retail as a continuation of existing storefront retail to the west along E. Broad Street. The southern "half" of the site would demolish all existing manufacturing buildings and include a new three-story attached residential building with frontage along Saibide Avenue. Surface parking located within the middle of the site would be mostly hidden from street view given the site's topography. (See Figure 7g)

**Concept C** embraces the opportunity of extending Andrew Street (between Bullsboro Drive and E. Broad), pulling the new street through this site to terminate at Saibide. Given the site's existing limited street frontage to the north and south, proximity to the CSX railroad line to the east and adjacency to the rear of commercial parcels to the west, addition of a new street through the site creates more opportunity for additional street frontage and helps better-buffer adjacent uses. In this scenario, new mixed-use development would create retail frontage along E. Broad, adaptively re-use historic buildings (2, 3 and possibly 4) within the northeast sector of the site and create a mix of two and three-story attached residential buildings fronting the new street. Off-street parking would be within a new three-level parking "tray", with a ground floor accessed via the new street and the upper floor accessed via a new connection to the west. There is also opportunity for the structured parking to include a mix of both private and public parking (possibly on dedicated floors), depending on future public parking demand. (See Figure 7h)



This is for conceptual purposes only; not an actual development proposal

Figure 7h: Caldwell Tanks Site Concept Plan C

Overall, these development concepts are meant to illustrate only a few of the many potential options for the site. Considering the short-term market demands for the LCI area and the lack of urgency for a change of ownership, redevelopment of the Caldwell Tanks site is likely much longer-term as compared to other catalytic sites within the LCI area.



Figure 7i: Current condition at East Broad Street (looking west)



Figure 7j: Potential Improvements at East Broad Street (looking west)



---

# Newnan City of Homes NOT City of Apartments!



1,344 have signed.

## [Lynn Chapman](#) started this petition to Newnan City Council

I am passionate when it comes to defending things that matter to me – this matters a lot. My post is not intended to be offensive, accusatory, inflammatory, or divisive. This isn't a political or personal attack against anyone. To the best of my knowledge everything here is factual. It is my intention to provide an accurate accounting of information I have gained through either a conversation with a person identifying himself as a development company representative, information I came across while doing my own digging around online, or just common sense that we all have learned through experience.

The issue is: A sprawling 340-unit apartment complex that has been proposed to be built on property that is in our historic district.

A developer has a contract to purchase two parcels of land here in the historic district – the gravel lot between East Broad Street and Washington Street across from the train depot, and a more than five acre parcel known as the old R.D. Cole/Brown Steel/Caldwell Tank property

which is directly across the tracks and also across from the train depot. This property is bordered by East Broad Street, Perry Street, Thompson Street, and Salbide Avenue. The proposal includes apartment buildings on both properties, three and four-story buildings built five feet from the side walk, and a parking garage on the larger property along with the rental units.

How this unfolded:

As our daughters and I enjoyed a day of working in our yard on Friday, a gentleman walked onto our property and introduced himself as a representative of TRG, a development firm with a contract on two prominent properties within our downtown historic district known as Cole Town. The proposal is to build a sprawling 340-unit , multi-story apartment complex on both the gravel lot beside the railroad tracks on East Broad Street and the adjacent property known as the former R.D. Cole/Brown Steel/Caldwell Tank site which sits across the tracks and borders East Broad Street, Thompson Street, Perry Street, and Salbide Avenue. I was shocked to hear of such a massive project being planned right at my front door within the historic district. I am shocked that a project with such a potential to change the face of the downtown historic districts could remain so secretive that none of us knew about it. I did not go looking for trouble, but I feel I have to speak out and let others who own property in this area know what is being planned. In order to protect what I believe is a threat to our property values and our quality of life, I am speaking up respectfully to our elected officials and those responsible making such decisions and potential changes in zoning. I am not against development or change, but I am against this development. Rental property such as a sprawling apartment complex does not fit in the historic district of our downtown and will have a negative impact on the area now and for years to come. This project might be a good choice in a larger, more urban area such as Atlanta. Newnan's downtown historic district is not the same. Our historic downtown is charming and that is because of a mixture of beautiful architecture found in the homes and small businesses that make up our downtown. We don't have big box retail or high-density rental property in our downtown historic for good reason!

When we built our home two years ago, we adhered to guidelines that we were given to make our home fit into the historic district and we are proud to say people ask us if it was a remodel of a historic home. Since that time there have been many homes in our neighborhood that have been restored and a few more that have been built. Within this area there are beautiful historic homes of various size, construction of new homes and luxury townhomes, and tasteful renovations of storefronts – all of these designed to be cohesive and respectful of the historic district. New businesses have opened within our historic district. There is a distinct difference in all of these projects and large-scale rental property being built in our downtown historic districts. A proposal by one of our own local residents to renovate an existing property downtown to open an event center was denied initially. The project was eventually approved after the owner/developer made changes satisfying officials that it would be cohesive with the downtown historic district. The event center will be a wonderful addition to downtown Newnan. I have seen renderings and I have to say if this was a problem, I cannot fathom how this sprawling rental property of new construction could ever fit in since there is literally nothing like it anywhere in our historic downtown. A massive 340-unit rental property might be well-suited for larger, more urban areas such as Atlanta or Nashville where it is not unusual to find such high-density rental property or to find a big box retailer such as Publix or Staples on the corner. In Newnan, our larger retail



would be more like Arnall Grocery. That's the charm of living and shopping in our historic downtown.

Newnan is the "City of Homes," right? The magnificent homes, historic charm, excellent schools, and vibrant downtown were significant reasons why we chose to build our home in the downtown historic district we know as Cole Town. We love our neighborhood. We are not bothered by the train, the vacant lot or the empty R.D. Cole/Brown Steel/Caldwell Tank property. The building has historical significance. I would much rather look at it than a mega development of rental property and everything that comes with it. How could we even consider this in our historic district? A large rental apartment complex being built on two lots located squarely in the downtown Cole Town historic district, which is listed on the National Register of Historic Places, is no more appropriate than a big box store being built on the square. The downtown historic district of Newnan is rich in historic charm because of the preservation of our historic neighborhoods and business district. It is time to speak up. Will Newnan protect and preserve our downtown historic districts and our "City of Homes," or will we allow this sprawling apartment complex to be built within the historic district and become the "City of Rentals," instead? Do we want our historic charm to be preserved or do we want an aging rental property in the heart of our historic district?

I respect the right of the property owner to sell this property and a potential buyer's right to develop this property, however, any potential development must align with the downtown historic district and must meet specific criteria as required by the City of Newnan. As property owners, we have specific rights. The proposed development should not be a detriment to the property values and quality of life of others who live, work, and pay taxes here. Maintaining the integrity and charm of the downtown historic district is a responsibility of our elected officials and local zoning and planning. I believe making sure they do their job is our job as stakeholders who own homes and businesses here.

Both of these properties are located in the historic district, both are listed within the Cole Town Historic District on the National Register of Historic Places by the United States Department of the Interior. This is significant. Specific regulations apply regarding any demolition, construction, or repair.

If this sprawling apartment complex with three and four-story buildings and a parking deck is built, it will cause significant and lasting harm not only to my property values and that of my neighbor across the street. This project will impact all of us who own homes or businesses within the historic districts downtown as well as those who work, shop, eat, and drive nearby. Traffic, infrastructure, parking, and property values will all be affected. Emergency services will be affected. Schools will be affected. There are hard-working people here who have invested considerable time and money while working within the constraints of the downtown historic district to improve our properties and promote future improvement and growth. Literally no one in the "City of Homes" wants to see the downtown historic district become the "City of Rentals." Building this sprawling apartment development within the downtown historic district is the equivalent of building a big box store on the town square in the middle of the historic business district.

I feel I have done my due diligence to determine the potential impact of this development on my neighborhood. I am meeting with representatives from the development company Thursday evening. I will pass along any information they provide and any other information including meeting dates and our next steps in being heard.

## Tracy Dunnavant

---

**From:** Scott Frederking <au@numail.org>  
**Sent:** Sunday, June 02, 2019 4:26 PM  
**To:** ggause@mac.com; psmith827@numail.org; rwc@numail.org; chris.hunt@bhhsgeorgia.com; joejr@crainoil.net; fredhamlin3@yahoo.com; cmcentire@jsmithlanier.com  
**Cc:** Tracy Dunnavant; Cleatus Phillips; Hasco Craver; Scott Frederking  
**Subject:** Proposed East Broad Street Apartments

This message was sent securely using Zix®

June 2, 2019

To the Honorable members of the Newnan Planning Commission:

I want to express my opposition to the proposed apartment project on the Caldwell Tanks property and especially the plan to construct a multi-story apartment structure plus parking on the one-acre lot at the entrance to the Coletown Historic District. The latter proposal to construct 48 apartment units on the same block as single-family residences in an historic district clearly shows a lack of interest on the part of the developers to be sensitive to our community's identity.

As you well know, the Newnan Mayor's Office, City Council, Planning Commission and Downtown Development Authority, among many others, have labored long and diligently to maintain a balance between Newnan's reputation as "The City of Homes" while facilitating a progressive environment. These ends are not mutually exclusive. Our city's historic character gives us a competitive advantage when recruiting employment and investment opportunities and it is paramount we maintain that character. Without exception, every comprehensive plan and report produced by the City over the past several decades gives primary emphasis to the history and sense of place provided by the city's historic districts and the great importance of maintaining that unique environment which allows Newnan to stand out among its peers. Allowing a multi-story complex of 340+ apartments and parking bunker with a handful of undefined retail spaces stands in stark contrast to the city's vision.

Please consider the following reports sanctioned by our city's leaders as references:

- City of Newnan Comprehensive Plan 2016-2036
- Urban Redevelopment Plan, City of Newnan, 2009

- Newnan Livable Centers Initiative June 19, 2014
- Business Development Plan 2017-2021, City of Newnan

There is no question the Caldwell property needs to be redeveloped. This is a once in a generation opportunity that can continue to help set Newnan apart. A truly bold and imaginative mixed-use project of single-family owner-occupied residential, retail and commercial use would be welcomed if the scale and scope is appropriate. Or we can just lower our sights to jump at the opportunity to build stacks of apartments which will be flipped to a buyer whose main concern is recouping its investment, with the very real possibility of Section 8 housing being part of the mix.

People have told me the deal is already done and there's no point in even trying to raise concerns. I don't believe it. Our leaders and professional staff are thoughtful people who will take their time to consider the project and agree it conflicts with the planning and visioning they've done so often through the years.

We can do much better than this. Newnan, "The City of Apartments", doesn't have a very good ring to it.

Very truly yours,

*Scott Frederking*

87 East Broad Street

Newnan, GA 30263

## Tracy Dunnivant

---

**From:** John Young <jyoung@jybrealty.com>  
**Sent:** Monday, May 20, 2019 4:03 PM  
**To:** Tracy Dunnivant  
**Subject:** Fwd: Letter to Editor

Tracy,below is a Letter to Editor I sent to NTH for publication.I live at 79 East Broad in the Frank B. Cole home,two houses up the street from the proposed 48 unit 3 story apartment building proposed for the one acre lot on East Broad in Historic Cole Town.

I have spoken with a couple of dozen homeowners in Cole Town--they all of course are opposed to an apartment building being built in Cole Town.I am amazed that this project for the one acre lot is even being considered.Why and how can a historic community of single family homes even be subjected to this type of proposed use?You cannot even imagine the stress and anger that is being expressed by Cole Town homeowners.Try to picture,for example,the Chapmans who just completed a Mitch Ginn-designed expensive home that is right across the street from this nightmare.All of us would be receptive to a low density residential development on the site such as cluster homes or even townhomes that evoke the history,architecture and scale of Historic Cole Town.We would love to see the LINC trailhead incorporated on the site as well.

John Young

----- Forwarded Message -----

**Subject:**Letter to Editor  
**Date:**Wed, 15 May 2019 13:13:09 -0400  
**From:**John Young <[jyoung@jybrealty.com](mailto:jyoung@jybrealty.com)>  
**To:**John Young <[jyoung@jybrealty.com](mailto:jyoung@jybrealty.com)>

To Letters to the Editor Newnan Times Herald:

Averting a Tragedy

I am stunned and appalled that an out of town apartment developer would actually propose to build 48 apartment units in a three story building on the one acre lot on East Broad Street at the entrance to Historic Cole Town.This is an historic district of single family homes on relatively large lots with many homes of significant historical and architectural value.

The proposed development is of course part of a much larger proposed project in downtown Newnan that includes hundreds of apartment units and structured,deck parking,also evoking confusion and anger as well.

All one has to do is walk down East Broad Street to the entrance of Historic Cole Town and see that a large,monolithic apartment building is completely out of context for a single family community in an historic district.As a former developer of a dozen urban infill residential projects in historic districts,particularly in Tampa,I had to be constantly vigilant as to historic and architectural context.

What the site really needs is a park connected to the LINC trailhead and/or thoughtfully designed cluster homes in a limited number.

Let's avert a tragedy and do something much better for Newnan.

John Latimer Young 79 East Broad Street Newnan

--

John L. Young  
Partner  
Josey, Young & Brady Realty, LLC  
75 Jackson Street, Ste 200  
Newnan, GA 30263  
Office: 770-683-1800  
Cell: 404-386-1322  
[jyoung@jybrealty.com](mailto:jyoung@jybrealty.com)  
[www.jybrealty.com](http://www.jybrealty.com)

## Tracy Dunnivant

---

**From:** John Young <jyoung@jybrealty.com>  
**Sent:** Tuesday, June 04, 2019 1:57 PM  
**To:** Tracy Dunnivant  
**Subject:** Cole Town Historic District and Residential Group Rezoning Application

Tracy, there is a concern that the entire 6.7 acre rezoning parcels are in The Cole Town Historic District--and is getting very little notice in this rezoning request that is part of a district on the National Register of Historic Places. The national register of course is the federal government's list of districts and structures deemed worthy of preservation for their historical significance. The National Historic Preservation Act of 1966 established the national register with the goal of preserving and protecting historic districts and structures. The Cole Town Historic District Register Nomination contains these basic tenets.

While any applicant has the right to request a rezoning within a historic district, however farfetched, this application (which actually includes building a three story building of 48 units in and at the entrance to Historic Cole Town, a community of mostly single family homes of architectural and historical significance) should be rejected out of hand.

The Caldwell Tanks/Cole properties should be developed in a thoughtful manner (no structured parking decks and monolithic apartment buildings) that blend into and enhance our cherished historic districts. We also need to be extremely careful about setting a negative rezoning precedent that could greatly diminish all of Newnan's six historic districts. After all, these districts and their beautiful structures are a reason many folks, including my family, live in Newnan in the first place. Newnan's many visitors are not in town to look at large apartment buildings and parking decks. The City of Homes needs to be protected for future generations.

--

John L. Young  
Partner  
Josey, Young & Brady Realty, LLC  
75 Jackson Street, Ste 200  
Newnan, GA 30263  
Office: 770-683-1800  
Cell: 404-386-1322  
jyoung@jybrealty.com  
www.jybrealty.com

## Tracy Dunnivant

---

**From:** John Young <jyoung@jybrealty.com>  
**Sent:** Tuesday, June 04, 2019 4:33 PM  
**To:** Tracy Dunnivant  
**Subject:** Re: Cole Town Historic District and Residential Group Rezoning Application

Tracy,FYI--An excerpt from Section VIII--"How to Apply the National Register Criteria for Evaluation,US Department of the Interior,National Park Service".

note: "A district is not eligible if it contains so many alterations or new intrusions that it no longer conveys the sense of a historic environment.A component of a district cannot contribute to the significance if it has been substantially altered since the period of the district's significance or it does not share the historic associations of the district."

The Residential Group's rezoning application (with its large apartment buildings and structured parking garage) clearly would substantially alter the district and does not share the historic associations of the district.I do not believe that city staff,planning board and city council would really want to put the City of Newnan in jeopardy of seriously compromising or possibly losing a historic district.

On 6/4/2019 3:17 PM, Tracy Dunnivant wrote:

> Mr. Young,

>

> Thank you for providing this information. I will include your email with the other materials that will be provided to the Planning Commission as part of their agenda packet.

>

> Please let me know if I can be of further assistance.

>

> Tracy

>

>

> Tracy S. Dunnivant

> Planning & Zoning Director

> City of Newnan

> 25 LaGrange Street

> Newnan, Georgia 30263

> (770) 254-2354 ext. 4

> www.ci.newnan.ga.us

>

>



> -----Original Message-----

> From: John Young [mailto:jyoung@jybrealty.com]

> Sent: Tuesday, June 04, 2019 1:57 PM

> To: Tracy Dunnavant <TDunnavant@cityofnewnan.org>

> Subject: Cole Town Historic District and Residential Group Rezoning

> Application

>

> Tracy,there is a concern that the entire 6.7 acre rezoning parcels are in The Cole Town Historic District--and is getting very little notice in this rezoning request that is part of a district on the National Register of Historic Places.The national register of course is the federal government's list of districts and structures deemed worthy of preservation for their historical significance.The National Historic Preservation Act of 1966 established the national register with the goal of preserving and protecting historic districts and structures.The Cole Town Historic District Register Nomination contains these basic tenets.

>

> While any applicant has the right to request a rezoning within a historic district,however farfetched,this application (which actually includes building a three story building of 48 units in and at the entrance to Historic Cole Town,a community of mostly single family homes of architectural and historical significance) should be rejected out of hand.

>

> The Caldwell Tanks/Cole properties should be developed in a thoughtful manner (no structured parking decks and monolithic apartment buildings) that blend into and enhance our cherished historic districts.We also need to be extremely careful about setting a negative rezoning precedent that could greatly diminish all of Newnan's six historic districts.After all,these districts and their beautiful structures are a reason many folks,including my family, live in Newnan in the first place.Newnan's many visitors are not in town to look at large apartment buildings and parking decks.The City of Homes needs to be protected for future generations.

>

>

> --

> John L. Young

> Partner

> Josey, Young & Brady Realty, LLC

> 75 Jackson Street, Ste 200

> Newnan, GA 30263

> Office: 770-683-1800

> Cell: 404-386-1322

> jyoung@jybrealty.com

> www.jybrealty.com

>

--

John L. Young

Partner

Josey, Young & Brady Realty, LLC

75 Jackson Street, Ste 200

Newnan, GA 30263  
Office: 770-683-1800  
Cell: 404-386-1322  
jyoung@jybrealty.com  
www.jybrealty.com

BROAD STREET FORUM, INC./  
The Residential Group  
Tract I, 5.603 acres, Tract II, 1.064 acres  
located on East Broad Street  
Land Lot 25, 5<sup>th</sup> Land District  
Coweta County, Georgia  
Tax Parcels #N04 0010 006; N04 0012 001

**ORDINANCE TO AMEND THE ZONING MAP FOR PROPERTY  
LOCATED ON EAST BROAD STREET, BEING TRACT I, CONTAINING 5.603  
ACRES, AND TRACT II, CONTAINING 1.064 ACRES, LAND LOT 25, OF THE  
FIFTH LAND DISTRICT, IN THE CITY OF NEWNAN, GEORGIA**

WHEREAS, the owners have filed an application for rezoning of the property described on Exhibit "A" attached hereto and by reference made a part hereof from CBD (Central Business District) to MXD (Mixed Use Development District) with proffered conditions; and

WHEREAS, in accordance with the requirements of the City Zoning Ordinance, the Planning Commission of the City of Newnan has forwarded its recommendation to the City Council; and

WHEREAS, pursuant to said requirements of the City Zoning Ordinance, the City Council has conducted a properly advertised public hearing on the rezoning application not less than 15 nor more than 45 days from the date of publication of notice, which public hearing was held on the 16<sup>th</sup> day of July, 2019; and

WHEREAS, after the above-referenced public hearing, the City Council has determined the re-zoning of the property would be in the best interest of the residents, property owners and citizens of the City of Newnan, Georgia; and

NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Newnan, Georgia, that the Zoning Map of the City of Newnan be revised as follows:

Section I. That the property described on Exhibit "A" attached hereto and by reference made a part hereof being Tract I, containing 5.603 acres and Tract II, containing 1.064 acres, Land Lot 25, of the 5<sup>th</sup> Land District be rezoned as MXD (Mixed Use Development District) subject to the conditions which follows:

1. The project will be subject to a developer's agreement being executed by the applicant to ensure consistency with the concept plan, density, project data and architectural details as provided as part of the application which submittals are expressly incorporated herein and made a part hereof as if attached hereto.
2. The development will utilize architectural guidelines and covenants to ensure a quality product.
3. The development will be limited to a maximum of 348 apartment units and a minimum of 579 total parking spaces and set out hereinbelow:
  - a. The 1.064 acre tract north of East Broad Street, Tract II, shall be limited to 41 apartment units and 48 parking spaces.
  - b. The 5.603 acres tract south of East Broad Street, Tract I, shall be limited to 307 apartment units and 531 parking spaces.
4. The non-residential uses on the property will be limited to those uses allowed in the Central Business District.
5. The apartments proposed on Tract II, the 1.064 acre tract north of East Broad Street, shall be limited to three stories in height.
6. The applicant will work with the City's Landscape Architect to ensure adequate buffering is provided in the 10 foot landscape strip between the 1 acre tract on the north side of East Broad Street and the adjacent residential property.

Section II. All ordinances or parts of ordinances in conflict or inconsistent with this Ordinance hereby are repealed.

Section III. This ordinance shall be effective upon adoption.

DONE, RATIFIED, and PASSED, by the City Council of the City of Newnan, Georgia, this the \_\_\_\_\_ day of \_\_\_\_\_, 2019 in regular session assembled.

ATTEST:

\_\_\_\_\_  
L. Keith Brady, Mayor

\_\_\_\_\_  
Della Hill, City Clerk

\_\_\_\_\_  
Cynthia E. Jenkins, Mayor Pro-Tem

REVIEWED AS TO FORM:

\_\_\_\_\_  
C. Bradford Sears, Jr., City Attorney

\_\_\_\_\_  
George M. Alexander, Councilmember

\_\_\_\_\_  
Cleatus Phillips, City Manager

\_\_\_\_\_  
Raymond F. DuBose, Councilmember

\_\_\_\_\_  
Rhodes H. Shell, Councilmember

\_\_\_\_\_  
Dustin Koritko, Councilmember

\_\_\_\_\_  
Paul Guillaume, Councilmember

## LEGAL DESCRIPTION

All that tract or parcel of land lying and being in the City of Newnan in Land Lot 25 of the 5th Land District of Coweta County, Georgia, and being identified as Tract I containing 5.603 acres and Tract II containing 1.064 acres, all as more particularly shown on that ALTA/ACSM Land Title Survey prepared for Broad Street Forum, Inc. by W. W. Flowers, Jr., G.R.L.S. No. 1975, dated September 24, 2002, as recorded in Plat Book 77, Page 50, Office of the Clerk of the Superior Court of Coweta County, Georgia, to which plat reference is hereby made for a more particular and accurate description of the property being conveyed and referenced herein.



# City of Newnan, Georgia - Mayor and Council



Date: July 16, 2019

Agenda Item: 6 Glenn St, 8 Glenn St, 100 Sprayberry Road

Prepared and Presented by:  
Matt Murray, Code Enforcement Officer

Submitted by: Bill Stephenson, Chief Building Official

## **Purpose:**

To move the scheduled the public hearing concerning the dilapidated structures located at 6 Glenn St., 8 Glenn Street and 100 Sprayberry Road from July 16, 2019 to August 27, 2019 to provide for proper advertising time

## **Background:**

**6 Glenn - Owner:** Eyesight Capital LLC (foreclosure)  
Permits: Demo, Elec, Plumb, Res. Add, Footing....9/18 (closed 11/18)  
Date Sub-Standard housing file was opened: April 25, 2018  
Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**  
Previous inspections by Newnan Building Department have deemed the property to be unsafe. Information was presented to Council electronically concerning the condition of the above mentioned property on May 28, 2019.

**8 Glenn - Owner:** Eyesight Capital LLC (foreclosure)  
Permits: Demo, Elec, Plumb, Res. Add, Footing....2018  
Date Sub-Standard housing file was opened: June 20, 2018  
Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**  
Previous inspections by Newnan Building Department same as above.

**100 Sprayberry - Owner:** Edwin Jean-Pierre  
Permits: Reno 11/18, plans review 11/18, plumb 9/17  
Date Sub-Standard housing file was opened: September 26, 2016  
Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**  
Previous inspections by Newnan Building Department same as above.

## **Options:**

1. Change Scheduled Public Hearing Dates to August 27, 2019.
2. Other direction from Council.

## **Funding:**

Not Applicable

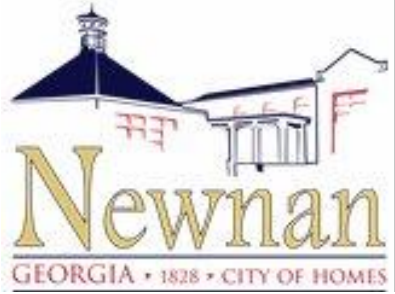
**Recommendation:** Staff is requesting Council's approval to proceed with Option 1.

## **Previous Discussions with Council:**

May 28, 2019 - Council informed of conditions.

June 18, 2019 – Scheduled Public Hearings for 7/16/2019 should have been 8/27/2019





## City of Newnan, Georgia - Mayor and Council

Date: July 16, 2019

Agenda Item: 15 Elm Cir

Prepared and  
Presented by: Matt Murray, Code Enforcement Officer

Submitted by: Bill Stephenson, Chief Building Official

**Purpose:** Agenda item to repair or demolish continued from June 18 council meeting for structure located at 15 Elm Cir.

**Background:** Owner: Mary Jean Payne estate c/o Jeffrey Donald Payne Executor

Date Sub-Standard housing file was opened: July 12, 2018

Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**

On November 28, 2018 the Building Department conducted an inspection of the premises and found the structure to be unsafe, uninhabitable. The structure has been determined to be unsafe as set forth by City Ordinance Section 5-24. (a), Sub-sections (3, 5, 6, 7, 8, 9, 10).

**Options:**

1. To review the owners request for an extension.
2. Other direction from council.

**Funding:** Not Applicable

**Recommendation:** Staff is requesting Council's approval to proceed with Option 1.

**Previous Discussions**  
**With Council:**

February 20, 2019 – Info only provided to council.

April 23, 2019 – Public hearing was held and item agenda item to repair or demolish was continued until council meeting on June 18, 2019.

June 18, 2019 – Item continued until July 16, 2019 council meeting due to a Petition of Removal filing concerning executor.





## City of Newnan, Georgia - Mayor and Council

Date: July 16, 2019

Agenda Item: 17 Ray St

Prepared and  
Presented by: Matt Murray, Code Enforcement Officer

Submitted by: Bill Stephenson, Chief Building Official

**Purpose:** Owner to request an extension in order to complete repairs to the structure located at 17 Ray St.

**Background:** Owner: Salome Realty LLC (Norville Smith)

Date Sub-Standard housing file was opened: April 18, 2014

Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**

On October 29, 2018 the Building Department conducted an inspection of the premises and found the structure to be unsafe, uninhabitable. The structure has been determined to be unsafe as set forth by City Ordinance Section 5-24. (a), Sub-sections (3, 5, 6, 7, 8, 9, 10).

**Options:**

1. To review the owners request for an extension.
2. Other direction from council.

**Funding:** Not Applicable

**Recommendation:** Staff is requesting Council's approval to proceed with Option 2.

**Previous Discussions**  
**With Council:**

December 18, 2018 – Info only provided to council.

February 26, 2019 – Public hearing was held and Resolution was adopted to repair or demolish within 120 days.

June 26, 2019 - No progress to structure. No permits pulled for repairs. Altisource (real estate mgt company) placed tarp on roof and cut grass.





## City of Newnan, Georgia - Mayor and Council

Date: July 16, 2019

Agenda Item: 18 Berry Ave

Prepared and  
Presented by: Matt Murray, Code Enforcement Officer

Submitted by: Bill Stephenson, Chief Building Official

**Purpose:** Owner to update council on his intention to repair or demolish the structure located at 18 Berry Ave.

**Background:** Owner: Moten Estate (Dan Moten)

Date Sub-Standard housing file was opened: December 18, 2018

Does the cost to bring this structure into compliance by means of repair exceed 50% of the structure's assessed tax value? **YES**

On December 18, 2018 the Building Department conducted an inspection of the premises and found the structure to be unsafe, uninhabitable. The structure has been determined to be unsafe as set forth by City Ordinance Section 5-24. (a), Sub-sections (3, 5, 6, 7, 8, 9, 10).

**Options:**

1. To review the owners request for an extension.
2. Other direction from council.

**Funding:** Not Applicable

**Recommendation:** Staff is requesting Council's approval to proceed with Option 1.

**Previous Discussions**  
**With Council:**

April 19,2019 – Info only provided to council.

June 18, 2019 – Public hearing was held and Resolution was adopted to repair or demolish (inform council of intent) within 30 days.









180 West Washington St.	Render Godfrey
11 Melson St	Cassandra Richardson
33 Hardaway St	Annie Cook estate

September 25, 2017	45 days	November 9, 2017
April 23,2019- cont'd to 6/18/19	60 days	August 18, 2019
June18, 2019	120 days	October 17, 2019

180 Days	September 7, 2019	No Progress
		In Council-property for sale
		Property for sale

**Options:**

1. Accept status reports, no further action is required.
2. Other direction from Council.

**Funding:**

Not Applicable

**Recommendation:**

Staff is requesting Council's approval for Option

**Previous Discussions**

**With Council:**

All have previous history with Council.



**GUIDELINES FOR USING DOWNTOWN NEWNAN SQUARE OR ANY CITY STREETS**

NAME OF AGENCY	Coweta Pregnancy Services
NAME OF PERSON IN CHARGE OF EVENT	Cindy Hughes / Director
ADDRESS OF PERSON IN CHARGE	29 Brown St. Newnan 30263
CELL PHONE NUMBER OF PERSON IN CHARGE	678-416-3951
TYPE OF EVENT	Fundraising walk
PURPOSE OF EVENT	Raise Funds, Create awareness for non-profit.
DATE OF EVENT	Saturday, September 14, 2019
TIME OF EVENT	8Am - 11Am *

**CONDITIONS OF PERMIT**

\* Walk portion will take place at 8:30 and only take about 30 minutes. Most activities are in the parking lot beside the church.

If permit is for any type utilizing streets of the city other than just the square area, a map shall be submitted to indicate routes of the event. If road race, walk or similar event, a fee will be charged based on number of police officers required to provide safety for the event; and all events of this type should be scheduled to end by 10:00 AM. If officers are required for other events, a fee will be charged based on number of officers requested by agency sponsoring event.

Applicants for permits for the square area only which require the setting of booths or selling goods should be aware that homegrown or handmade goods are preferred and that other goods sold should not be in conflict with goods that merchants on the square have for sale, excluding restaurant style prepared food items. Personal information from those attending the event should not be solicited. Subscription based businesses, home improvement companies, insurance companies, etc., that approach those attending the event for solicitation for future services are not allowed. It is recommended that a 10x10 booth space be assigned to each participant with the participants name written in chalk at each sidewalk location. Permanent marking on the square is not allowed. You must provide your own tent, chairs and tables. If your event requires electricity, it must be requested in advance. If it is used from the light poles, then the cover must be put back on after the event. If a cover is lost the event coordinator and vendor are liable for the cost of replacing the lost cover. All cords must be duct taped down to the sidewalks to prevent accidents.

**GUIDELINES FOR USING THE DOWNTOWN NEWNAN SQUARE OR ANY CITY STREETS – PAGE 2**

**EVENT STAFFING**

The coordinator of the event on the square must remain on site throughout the set up and clean up of the event. The event coordinator must make sure that the square is returned to normal after the event is over.

**GARBAGE**

Additional rolling trash cans by the City of Newnan Sanitation Department need to be around the court square. Contact Sanitation Services at 770-253-0327 to coordinate and determine the number of cans needed for your event. We recommend that you cover the permanent cans surrounding the square and use the rolling cans. If the decorative cans are overflowing at the end of the event, they should be emptied into the rolling cans. Cost of Sanitation cans are \$10.00 per can during normal business hours and \$25.00 per can after hours. *(Costs are subject to change)*

**PUBLIC NOTICE SIGNAGE**

The coordinator of the event is responsible for obtaining and displaying Special Event Notice signs as provided by City staff. Public notice along/near the event location shall be provided at least 72 hours in advance of the event.

**BATHROOMS**

A portable restroom, or more depending on the size of the event, must be provided for the public to use. Downtown shops only allow restroom facilities to be used by paying customers. Main Street can assist with contact information on a Main Street member that provides port-a-potties for a fee. We recommend these be placed on the side of NuLink on West Washington Street.

**PARKING**

Vendors can park on the square to unload, but once unloaded they will need to move their vehicles to a city lot. Parking on the square or in front of stores is prohibited. This includes on side streets. Parking is for customers and event attendees.

**AGREEMENT**

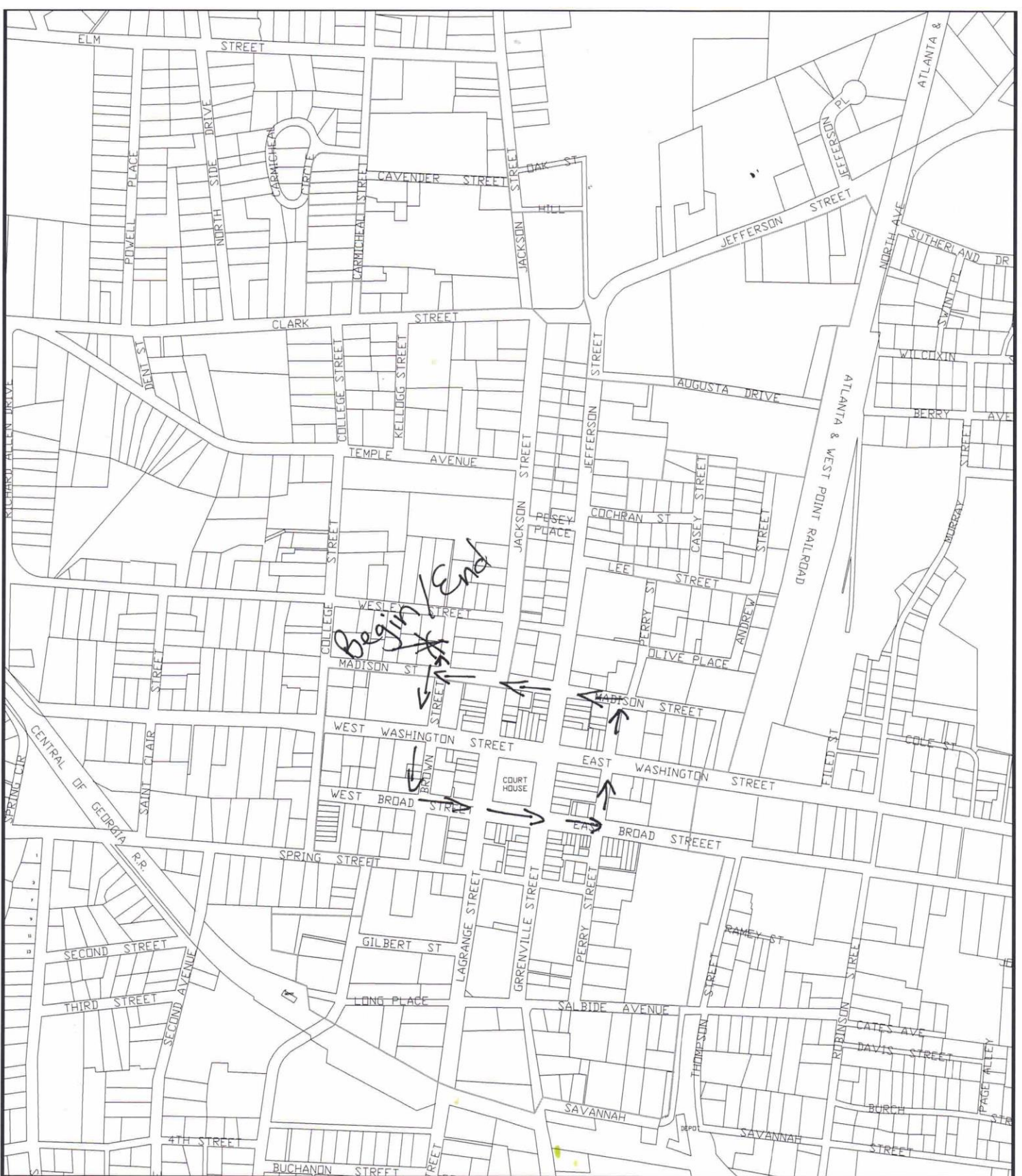
I, Cindy Hughes, agree to these guidelines for use of the Newnan Square and/or city streets.

SIGNED 

DATE 7/9/19

EVENT - 100.00.34.2901 – Event Activity Fees

Form Updated February 8, 2019 / October 12, 2018



# City of Newnan DDA Boundary

Adopted October 11, 2011

Notes:

1. Duplication of this map is prohibited without the prior written consent of the City of Newnan.
2. This map was compiled from aerial photography and records filed with the City of Newnan by various parties. The City of Newnan makes no representation concerning or assuming any responsibility for the accuracy of the information contained on this map.



Scale 1" = 300'

**CITY COUNCIL MEETING – JULY 16, 2019**

**From:** Derrick Teagle  
**Sent:** Monday, July 08, 2019 11:24 AM  
**To:** Libby Winn  
**Subject:** Wrestling Fundraiser

Good Morning,

Empowered 4 Life would like to do another Wrestling Fundraiser on Saturday August 17th. Empowered 4 Life have been granted to do fundraisers before at the Wesley Street Gym. Empowered 4 Life will be using the same Wrestling Company so the entire set up will be the same as before. Empowered 4 Life will be utilizing the funds to help support our Empowered 4 Life College Tours as we take our students on college trips across the south. The wrestling event will start at 7:00 and will be over at 10:30pm. Empowered 4 Life is very thankful for your support in the past.

Thank you

Derrick A Teagle  
Empowered 4 Life  
678-953-2092  
[dte4life@gmail.com](mailto:dte4life@gmail.com)

# *Prevailing Grace Ministries*

June 26, 2019

To The City of Newnan Council Members,

On behalf of Prevailing Grace Ministries, it is with great hope that I write this letter to you to request the approval of the usage of the Howard Warner gymnasium located at 55 Savannah Street on Sundays from 9:00 am until 1:00 pm beginning July 21, 2019 and ending December 29, 2019.

My name is Jarmaine Elder Sr., and I am the founder of Prevailing Grace Ministries. At Prevailing Grace, all people will come and be just who they are, find family, meaning and refuge from a trouble-filled world. What we want to be most clear is that no matter who or where you are in life, all are always welcomed at Prevailing Grace Ministries. Our hope and prayer is that everyone will grow their relationship with Jesus Christ and with one another as we build positive relationships. At Prevailing Grace, everyone is included regardless of race, ethnicity, sexual orientation, abilities, disabilities, etc. Everyone who attends Prevailing Grace will know that they have the right to be respected, appreciated, and valued as members of the community and as children of God.

The purpose of using the Howard Warner facility will allow Prevailing Grace to be an outreach ministry, open to everyone in the community and to be present in the neighborhoods. Availability and presence are two essential components needed in order to establish genuine positive relationships with all people and to let them know that we are there to serve one another and to learn and grow our relationship with God together. Another purpose for using this facility will allow people without transportation to be able to attend services and participate in any activities without limitations due to lack of transportation.

Our goal is to impact people and bless the community. This building is a tool to help us to reach that goal. By allowing us to use this facility, we will work together towards the vision of uniting all of God's people together to help build a thriving, safe community.

Sincerely,

Jarmaine Elder Sr.

Founder of Prevailing Grace Ministries

*Venue Request*

# MOTOWN BY FERGIES

FERGIES DESIGNS





### **Our Desire**

*This is a request for the Charles Wadsworth Auditorium venue for outdoor and grounds setup as well as local craft vendor and food truck setup for the day of Sept. 7th. As the DJ/MC of the event, I will only be playing clean, children friendly music.*

*As a former Audio Visual sound engineer for Comcast NBC Universal Headquarters at the Battery in Atlanta, and with a Bachelors Degree in Information Technology and over 100 certification in Fire Safety, Emergency Management, Emergency Medical and IT, I will ensure grounds safety, and adequate means of egress with no blocked exits or trip hazards.*



### **Newnan Strong**

*To help support local businesses and vendors, we have put together a group of talented craftsmen and food trucks. We secret shopped them, vetted and taste tested their products, and finally met them, to ensure taste quality and Newnan standards of "Southern Hospitality".*

*Following the outdoor festivities, will be the indoor Motown Event Concert scheduled from 5-7. After that the children from the local dance studio will be performing a dance number to a Motown song Followed by some singing talents. All activities will end at 10:00.*

*As a Retired Firefighter, I want to extend a free admission pass to the scheduled Firefighters next door and 50% of their food.*



# PROLOGUE



We at Fergies Designs will be hosting an event at the Charles Wadsworth Auditorium. The theme will be that of the Motown era and along with good music, we want to provide excellent food and give local vendors the opportunity to sell their best crafts.

With that in mind we want to make sure that the event has all the permissions it needs to proceed with setup plans outdoor before the indoor concert.

This dossier is to include:

## **Parking**

- ◆ Reserved Parking
- ◆ Food Truck Location
- ◆ Vendor Location
- ◆ Guest Parking

## **Outdoor Seating**

- ◆ DJ location
- ◆ Outdoor Guest Seating

# PARKING

## RESERVED & GUEST PARKING, VENDOR AND FOOD TRUCK LOCATIONS



*"If you build it, they will come..."*

We plan on using most of the parking lot for the vendors the food trucks the DJ and the band as well as a place for them to park their vehicles that will be holding their equipment for the event. This parking will also be for all the support help for the event.



The guest can park in any of the free parking available on the weekend throughout the downtown area.



Newman Fire Department

Charles Westworth Auditorium

Vendors

Feed Trucks

Band & DJ

Stage Area

Perry St

Perry St

Perry St

1st St

# OUTDOOR SEATING

## DJ & GUEST SEATING LOCATION



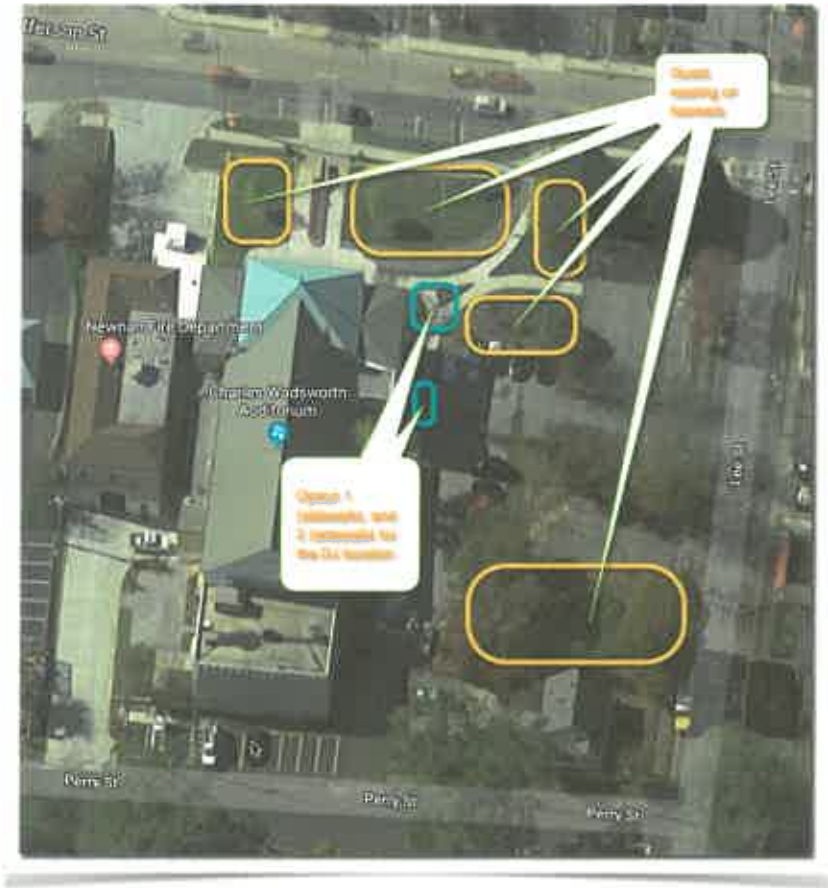
*“Music gives a soul to the universe, wings to the mind, flight to the imagination and life to everything...”*

Playing the best music of the 70’s including Motown, the music that defined the era, we plan on going down memory lane with our guests and encourage dancing with your significant other.

With that in mind we strategically placed the DJ so that the music can be heard on both sides of the building while leaving the main entrance and exit unobstructed. We plan on blankets only for the lawn so that views are not obstructed and the grass is not harmed.



The guest can park in any of the free parking available on the weekend throughout the downtown area.



**Motion to Enter into Executive Session**

I move that we now enter into closed session as allowed by O.C.G.A. §50-14-4 and pursuant to advice by the City Attorney, for the purpose of discussing

---

And that we, in open session, adopt a resolution authorizing and directing the Mayor or presiding officer to execute an affidavit in compliance with O.C.G.A. §50-14-4, and that this body ratify the actions of the Council taken in closed session and confirm that the subject matters of the closed session were within exceptions permitted by the open meetings law.

**Motion to Adopt Resolution after Adjourning Back into Regular Session**

I move that we adopt the resolution authorizing the Mayor to execute the affidavit stating that the subject matter of the closed portion of the council meeting was within the exceptions provided by O.C.G.A. §50-14-4(b).